

# Jodi Gilray Pediatric Therapy T. I.

Cottonwood, Arizona

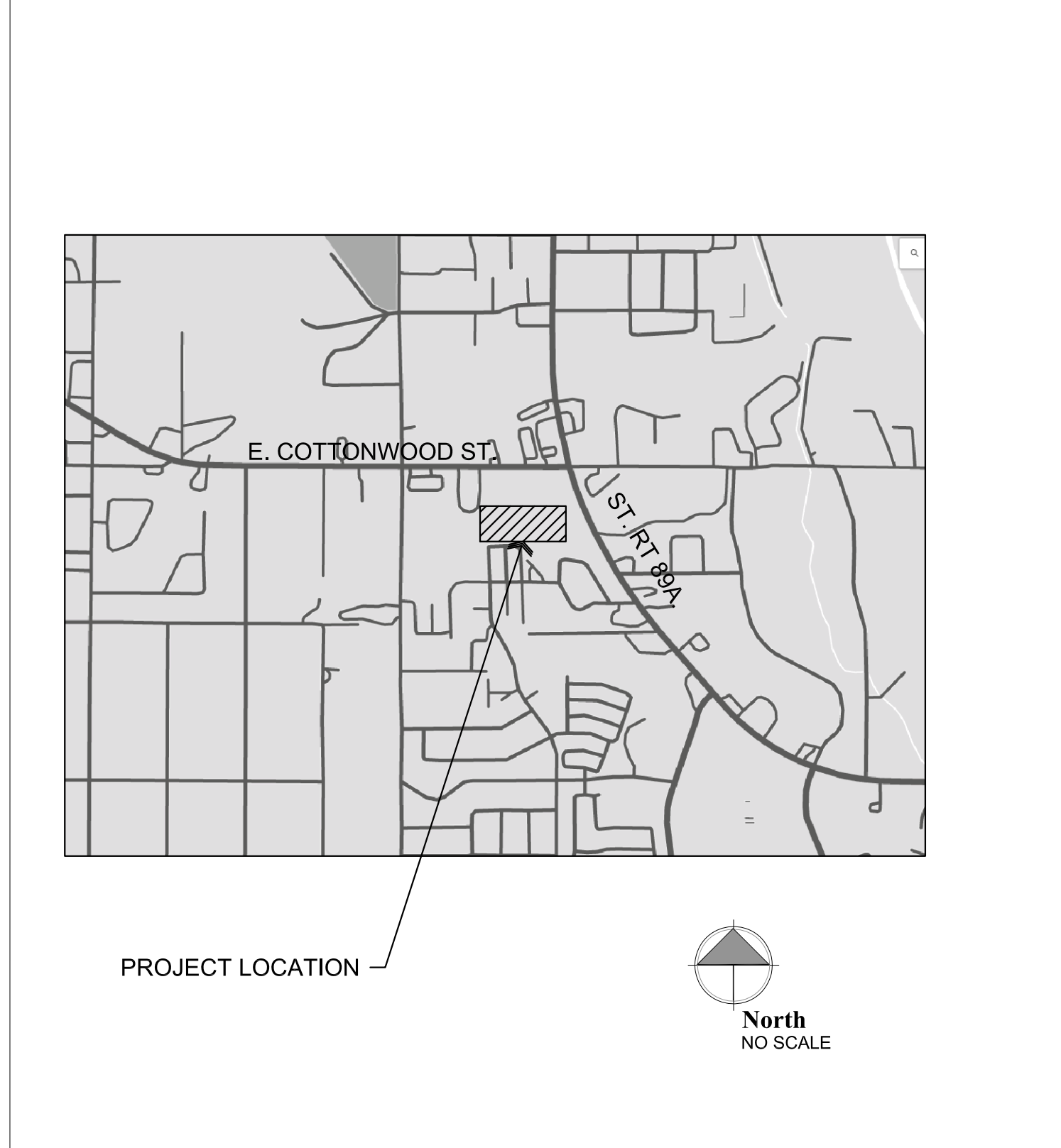
## Deferred Submittals

The following items are required and will be provided as a deferred submittal:

- Automatic Fire Sprinkler System.
- Fire Alarm System.

Automatic Fire Sprinkler System & Fire Alarm System submittal documents for deferred submittal shall be submitted to the local fire district, who shall review them and forward them to the building official, with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall "NOT" be installed until their design and submittal documents have been approved by the fire marshal having jurisdiction.

## Vicinity Map



## Project Information

**CLIENT:** Jodi Gilray Pediatric Therapy  
6550 E. 2nd St.  
Prescott Valley, AZ 86314  
PH: 928-771-9327  
Contact: Jodi Gilray  
jodi@gilraytherapy.com

**PREPARED BY:** W. Alan Kenson & Assoc., P.C.  
P.O. Box 11593  
Prescott, AZ 86304  
PH: 928-443-5812  
Contact: Alan Kenson  
WAKA@cableone.net

**CONTRACTOR:** Hale's Construction LLC  
2100 Shelby Dr.  
Sedona, AZ 86336  
PH: 928-301-0656  
Contact: Dustin Sonn  
dustin@halesconstruction.com

**JOBSITE ADDRESS:** 1675C E. Cottonwood St.  
Cottonwood, AZ 86326

**PARCEL NUMBER:** 406-04-035G

**ZONING:** C1

**CONST. TYPE:** II-B

**OCCUPANCY:** B

**EXISTING BLDG:** Existing 2,910 S.F.

**BUILDING CODES:** 2018 International Building Code  
2018 International Plumbing Code  
2018 International Mechanical Code  
2018 International Fuel Gas Code  
2018 International Fire Code  
2017 National Electric Code  
2010 ADA Standards for Accessible Design

**PARKING REQUIREMENTS:** Parking is existing and adequate

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A5.0 Door, Window and Hardware Schedules, and Room Finish Plan

**MECHANICAL**

M1.1 Mechanical Demo Floor Plan  
M1.2 Mechanical Floor Plan  
M2.1 Mechanical Schedules  
M3.1 Mechanical Details

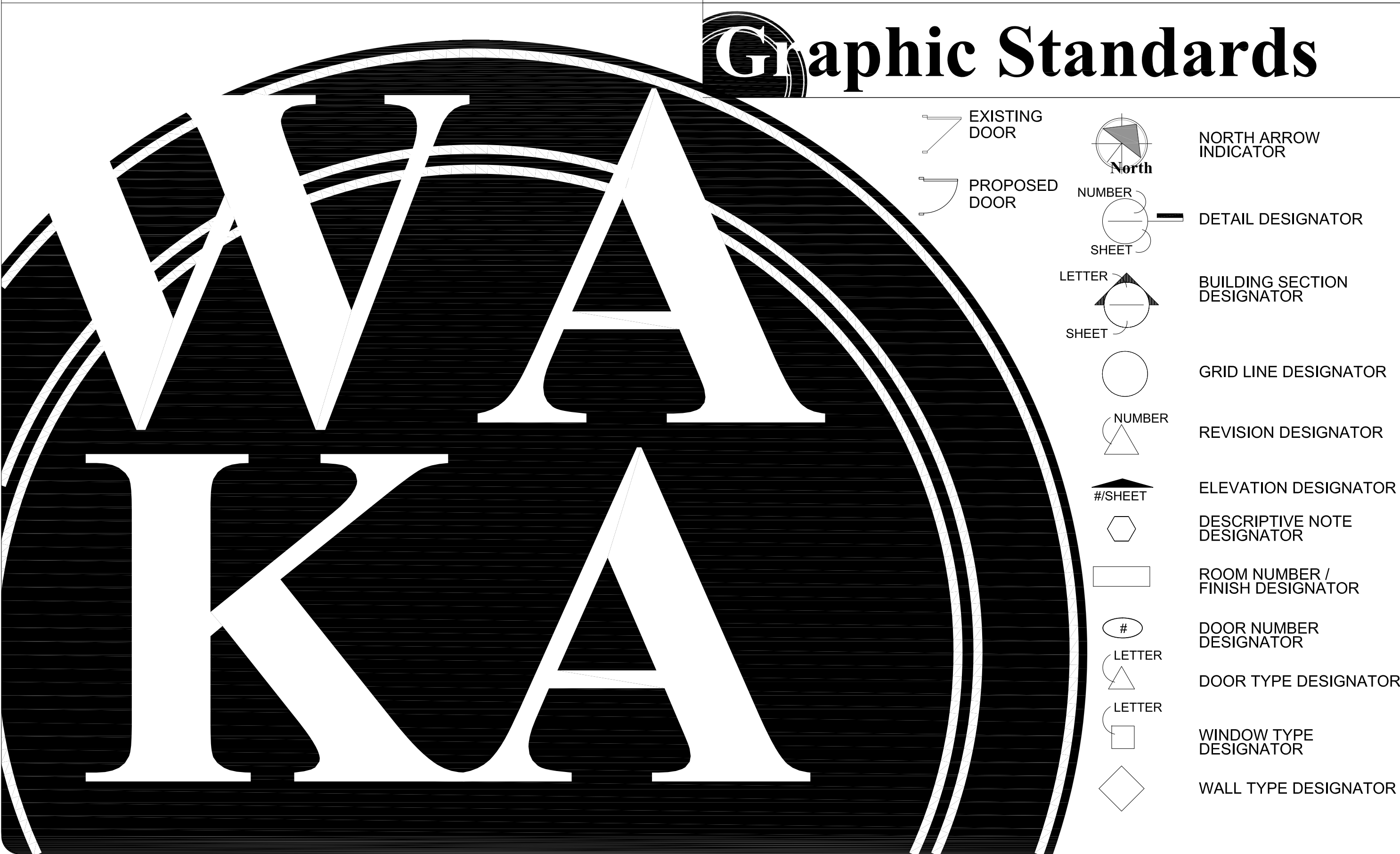
**PLUMBING**

P2.0 Plumbing Floor Plan  
P3.0 Plumbing Schedules, Specs

**ELECTRICAL**

E1.0 Electrical Symbols, One-Line Diagram, Fixture Schedule and Panel Schedules  
E1.1 Demo and Proposed Lighting Floor Plans  
E1.2 Demo and Proposed Power Floor Plans

## Graphic Standards



## Project Description

JODI GILRAY PEDIATRICS THERAPY INTENDS TO REMODEL AN EXISTING RETAIL SUITE TO PROVIDE THERAPY ROOMS, PHYSICAL THERAPY GYM, STORAGE, AND LOBBY. TWO EXISTING RESTROOMS WILL REMAIN AND ONE EXISTING RESTROOM WILL BE REVISED TO BECOME ADA COMPLIANT. NEW GRID CEILINGS WILL BE ADDED ALONG WITH NEW LIGHT FIXTURES AND MODIFIED HVAC. THERE WILL BE NEW ELECTRICAL MODIFICATIONS AS REQUIRED FOR THE NEW LAYOUT. EXISTING WALLS AND EXISTING RESTAURANT HOODS WILL BE REMOVED.

## Architect:

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ARCHITECTURE & PLANNING



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**DRAWING:** Cover Sheet

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

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DATE March 21st 2023
JOB NO. 791
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CS1

Mar 21, 2023 - 8:03am

Plumbing Calculations				
OCCUPANCY CLASSIFICATION	OCCUPANCY COUNT	WATER CLOSETS	LAVATORIES	SERVICE SINK
BUSINESS	20	.8	.5	
TOTAL REQUIRED		.8	.5	1
TOTAL PROVIDED		3	3	1

EXIT SIGNS: —

- PROVIDE A 6"x9" BLUE TACTILE, BRAILLE, 'EXIT' SIGN AS MANUFACTURED BY 'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH ICC/ANSI A117.1 SECTION 703.1 AND IBC 1013 & SECTION 1111, ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
- PROVIDE SIGN STATING THAT 'THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS'.

Accessibility Notes

1. ACCESS TO THESE FACILITIES SHALL BE AT PRIMARY ENTRANCES.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2%.
3. WALKING SURFACES GREATER THAN 2% SHALL BE SLIP RESISTANT.
4. PROVIDE A 44"x60" MINIMUM LANDING ON THE STRIKE SIDE OF THE ENTRANCE DOOR WITH 44" MINIMUM WIDTH IN THE DIRECTION OF TRAVEL.
5. WALLS SHALL EXTEND 18" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARDS THE OCCUPANT.
6. RAMPS SHALL HAVE A NON-SLIP SURFACE.
7. RAMPS SHALL BE A MINIMUM OF 36" WIDE.
8. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 36" WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90 DEGREES AND MOUNTED SO THE CLEAR WIDTH OF THE EXIT WAY IS 32" MINIMUM.
9. THRESHOLDS TO BE A MAXIMUM OF 1/4" ABOVE ADJACENT FLOOR FINISH. ONE-HALF INCH THRESHOLD MAY BE USED IF BEVELED PER A.D.A. STANDARDS.
10. MAXIMUM EFFORT TO OPERATE A DOOR SHALL NOT EXCEED 5 POUNDS.
11. THE BOTTOM 10 INCHES OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
12. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH AND PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.)

Egress Legend:

EXIT ACCESS

ACCESSORY USE (NO OCCUPANCY)

ROOM OCCUPANCY LOAD

SUBTOTAL OCCUPANCY LOAD

OCCUPANCY TOTAL  
REQUIRED EXIT WIDTH (FACTOR = 0.15)  
PROVIDED EXIT WIDTH

WORST CASE TRAVEL DISTANCE

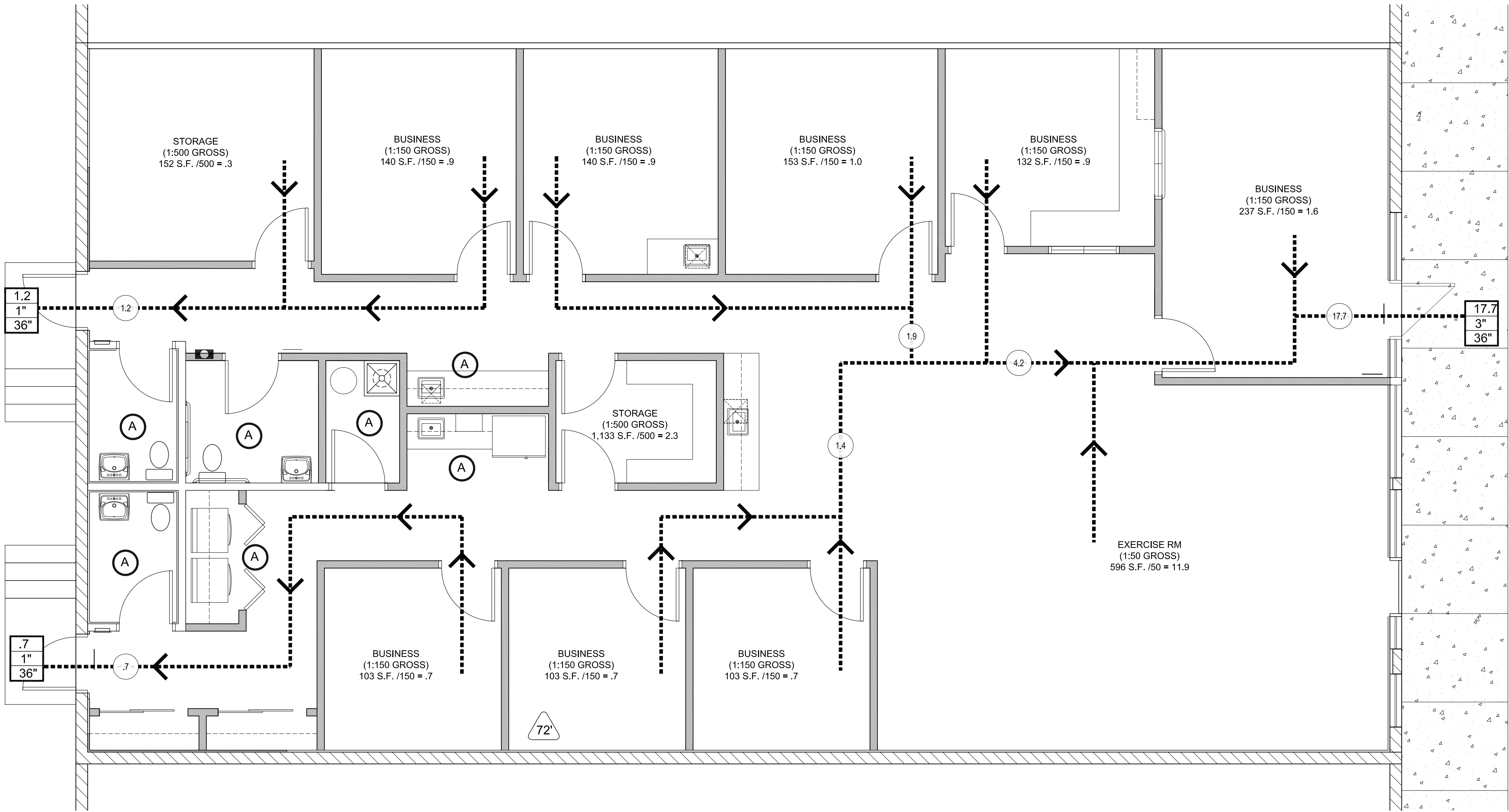
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
STORAGE	500 GROSS
OFFICE	150 GROSS
EXERCISE RM	50 GROSS

Occupant load

NOTE:

GROSS SQUARE FOOTAGE LISTED BELOW  
DOES NOT INCLUDE ACCESSORY AREAS.

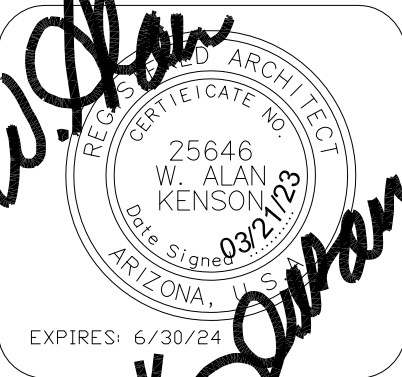
STORAGE	152 S.F.	.3 OCCUPANTS
BUSINESS	1,111 S.F.	7.4 OCCUPANTS
EXERCISE RM	596 S.F.	11.9
TOTAL:	1,859 SQ. FT.	19.6 OCCUPANTS



**A1** Occupancy / Egress Plan

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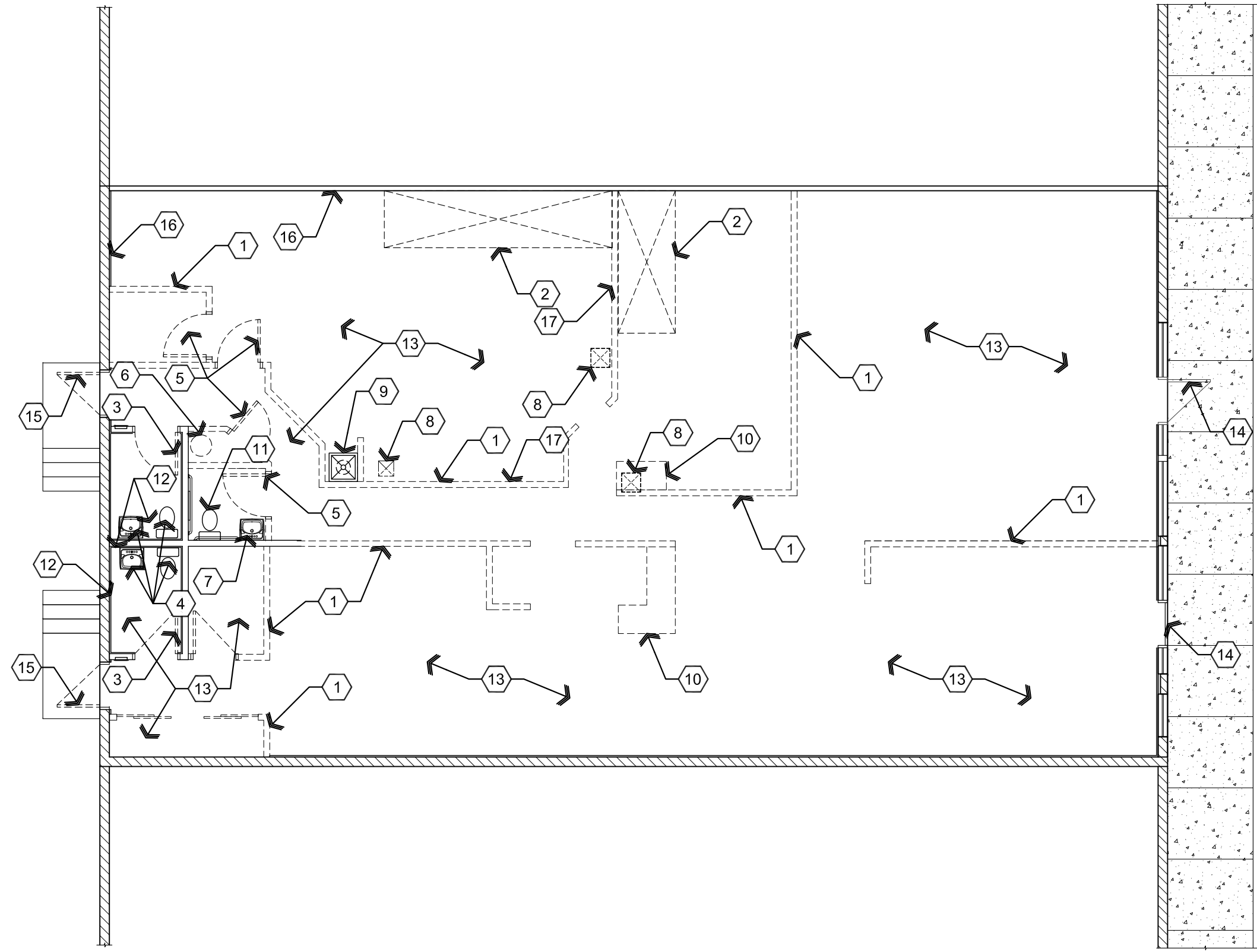
**DRAWING:** Occupancy / Egress Plan and Code Summary

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

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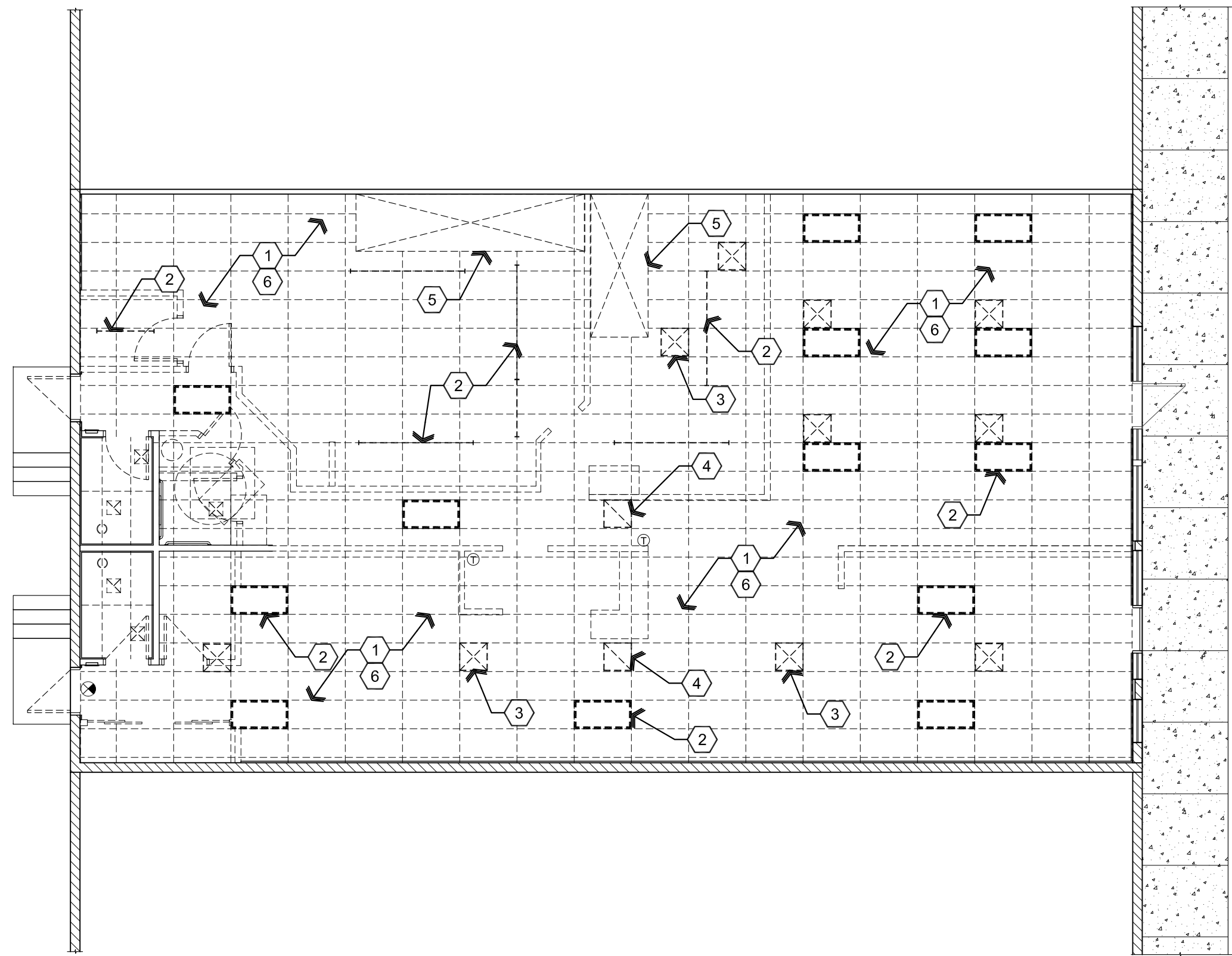
**CS2**



**A2** Existing / Demolition Floor Plan

Scale: 1/8"=1'-0"

Plan North



**A1** Demolition Reflected Ceiling Plan

Scale: 1/8"=1'-0"

Plan North

## Descriptive Keynotes Demo Floor

1. REMOVE EXISTING WALL.
2. REMOVE EXISTING KITCHEN HOOD AND RELATED COMPONENTS, REFER TO MECHANICAL PLANS.
3. REMOVE AND REPLACE EXISTING DOOR.
4. EXISTING RESTROOM FIXTURES TO BE REMOVED FOR INSTALLATION OF NEW FLOORING, FRP AND PAINT THEN RE-INSTALLED, REFER TO PLUMBING PLANS.
5. REMOVE EXISTING DOOR.
6. REMOVE EXISTING WATER HEATER.
7. REMOVE EXISTING LAVATORY, TO BE REPLACED WITH ADA COMPLIANT LAVATORY IN ADJUSTED LOCATION.
8. EXISTING FLOOR SINK TO BE REMOVED. EXISTING WASTE LINE TO ACCOMMODATE NEW PLUMBING FIXTURE, REFER TO PLUMBING PLANS.
9. REMOVE EXISTING MOP SINK, TO BE REPLACED, REFER TO PLUMBING PLANS.
10. REMOVE EXISTING MILLWORK.
11. REMOVE EXISTING TOILET, TO BE REPLACED WITH ADA COMPLIANT TOILET, REFER TO PLUMBING PLANS.
12. REMOVE EXISTING FRP, TO BE REPLACED WITH NEW FRP.
13. REMOVE EXISTING VCT, TYPICAL.
14. EXISTING DOOR TO REMAIN.
15. EXISTING DOOR TO BE REMOVED. NEW HOLLOW METAL DOOR TO BE PROVIDED BY OWNER.
16. REMOVE FRP, RE-TEXTURE EXISTING DRYWALL TO MATCH EXISTING.
17. REMOVE EXISTING FRP.

## Descriptive Keynotes Demo RCP

1. REMOVE EXISTING CEILING GRID AND PANELS, TYPICAL.
2. REMOVE EXISTING LIGHT, TYPICAL.
3. REMOVE EXISTING HVAC SUPPLY AND RE-USE AS APPLICABLE, TYPICAL, REFER TO MECHANICAL PLANS.
4. REMOVE EXISTING HVAC RETURN AND RE-USE AS APPLICABLE, TYPICAL, REFER TO MECHANICAL PLANS.
5. REMOVE EXISTING KITCHEN HOOD AND RELATED COMPONENTS, REFER TO MECHANICAL PLANS.
6. REMOVE EXISTING CEILING INSULATION AND STORE FOR RE-INSTALLATION AFTER NEW CEILING IS INSTALLED.

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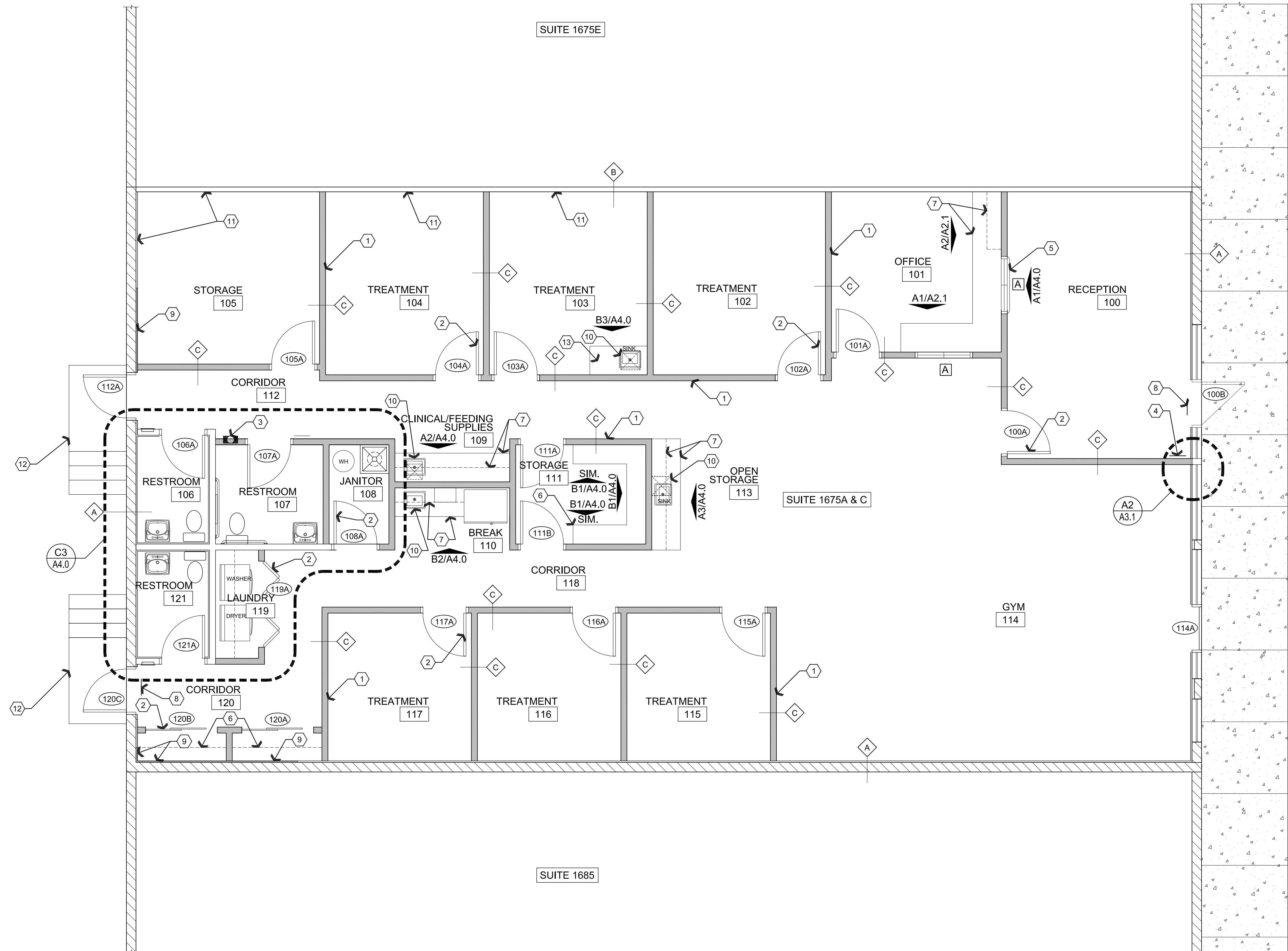
**DRAWING:** Demolition Reflected Ceiling Plan and Demolition / Existing Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

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**A1.0**



## Descriptive Keynotes

1. PROVIDE INTERIOR WALL, TYPICAL, REFER TO WALL TYPES LEGEND FOR TYPE OF CONSTRUCTION.
2. PROVIDE DOOR, TYPICAL, REFER TO DOOR SCHEDULE.
3. PROVIDE TYPE 2A10BC FIRE EXTINGUISHER IN RECESSED WALL CABINET.
4. PROVIDE A 6"x9" BLUE TACTILE, BRAILLE, 'EXIT' SIGN AS MANUFACTURED BY 'SIMPLY EXIT SIGNS (#SE-1980)' OR EQUAL COMPLYING WITH ICC/ANSI A117.1 SECTION 703.1 AND IBC 1013 & SECTION 1111, ADJACENT TO EACH DOOR TO AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.
5. PROVIDE PLASTIC LAMINATE TRANSACTION COUNTERTOP.
6. PROVIDE SHELVING, REFER TO DETAIL B1/A4.0, SIM.
7. PROVIDE UPPER AND LOWER CABINERY.
8. PROVIDE SIGN STATING THAT 'THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS'.
9. PROVIDE FURR OUT FOR DRYWALL TO MATCH EXISTING.
10. EXISTING FLOOR SINK TO BE REMOVED. EXISTING WASTE LINE TO ACCOMMODATE NEW PLUMBING FIXTURE, REFER TO PLUMBING PLANS.
11. RE-TEXTURE DRYWALL TO MATCH EXISTING WHERE FRP WAS REMOVED.
12. EXISTING CONCRETE STAIRS.
13. PROVIDE PLASTIC LAMINATE BASE CABINERY.

## Wall Types Legend

-  **A** EXISTING CMU / DRYWALL BUILDING WALL:  
 **B** EXISTING WOOD STUD WALL:  
 **C** 4" STUD WALL: PROVIDE 2x4 WOOD STUDS @ 1'-4" O.C. WITH 5/8" GPDW ON EXPOSED SIDES. PROVIDE R-11 UNFACED BATT INSULATION. REFER TO DETAIL A3 SHEET A3.1

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**DRAWING:** Reference / Wall Types Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

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**W.A.K.**

DATE  
**March 21st 2023**

JOB NO.  
**791**

SHEET

## A2.0

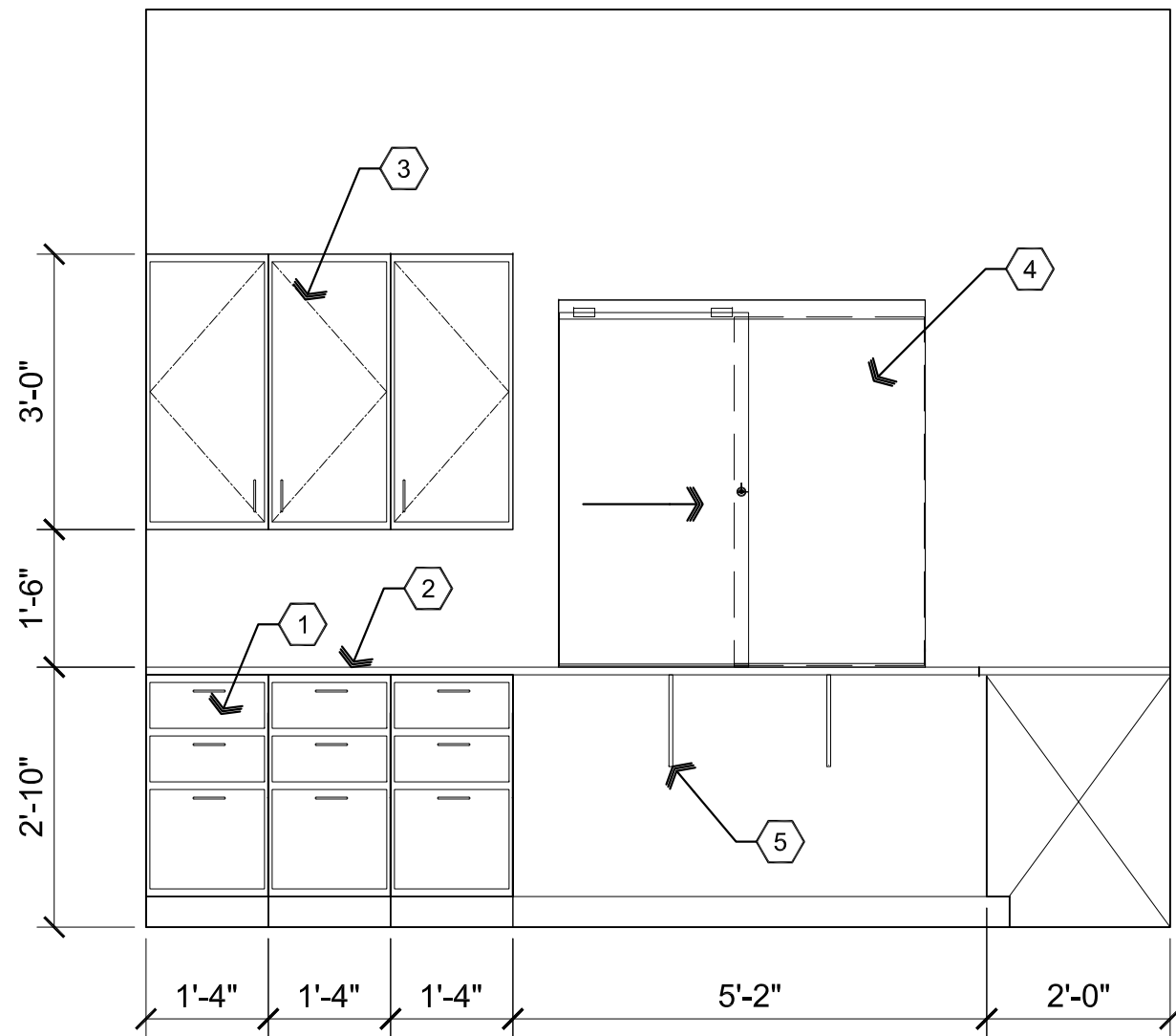
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Mar 21, 2023 - 9:04am

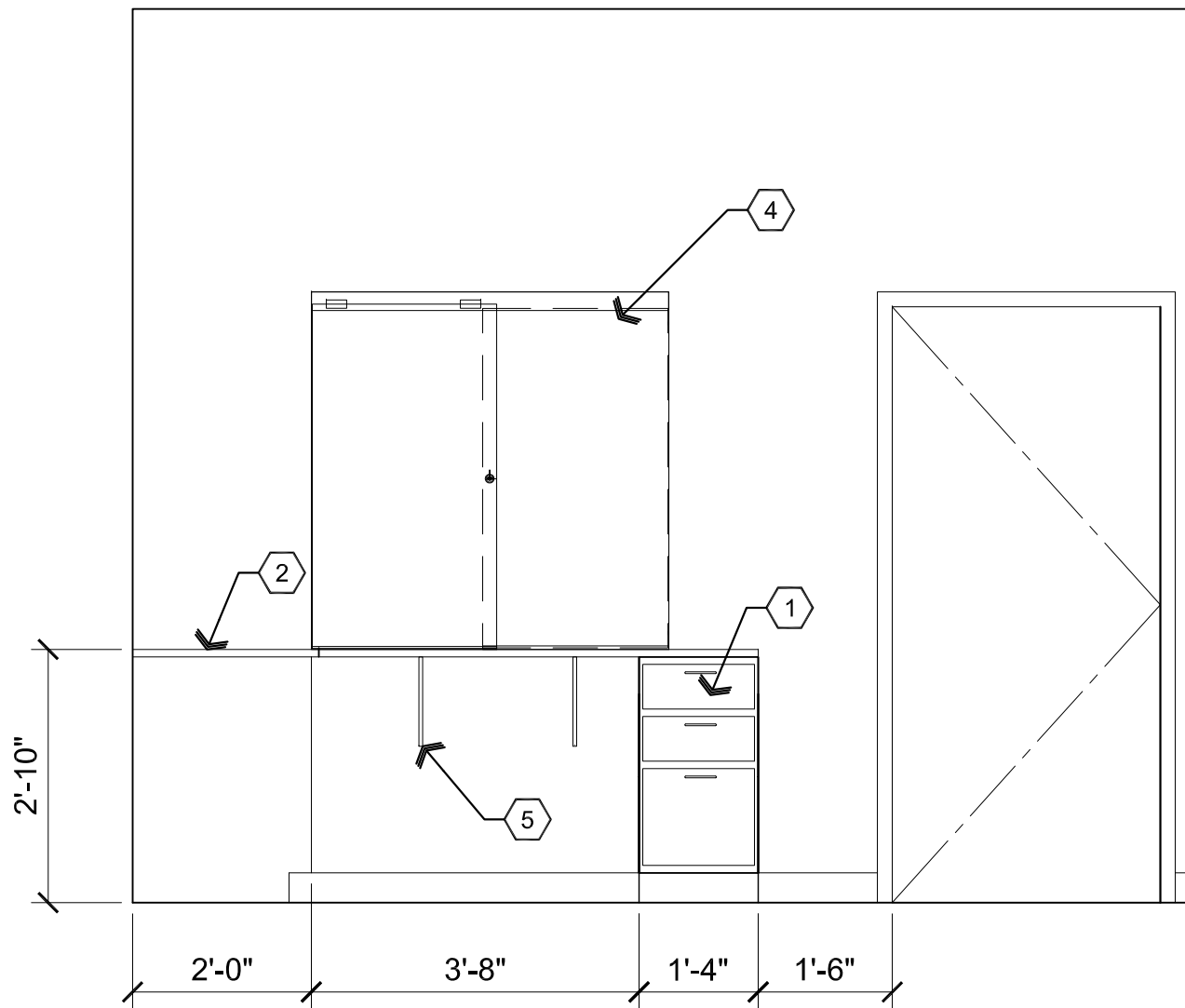
### Descriptive Keynotes

1. PROVIDE PLASTIC LAMINATE LOWER CABINETS.
2. PROVIDE PLASTIC LAMINATE COUNTERTOP.
3. PROVIDE PLASTIC LAMINATE UPPER CABINET.
4. SLIDING TRANSACTION WINDOW.
5. SUPPORT AS REQUIRED FOR OPEN KNEE SPACE.



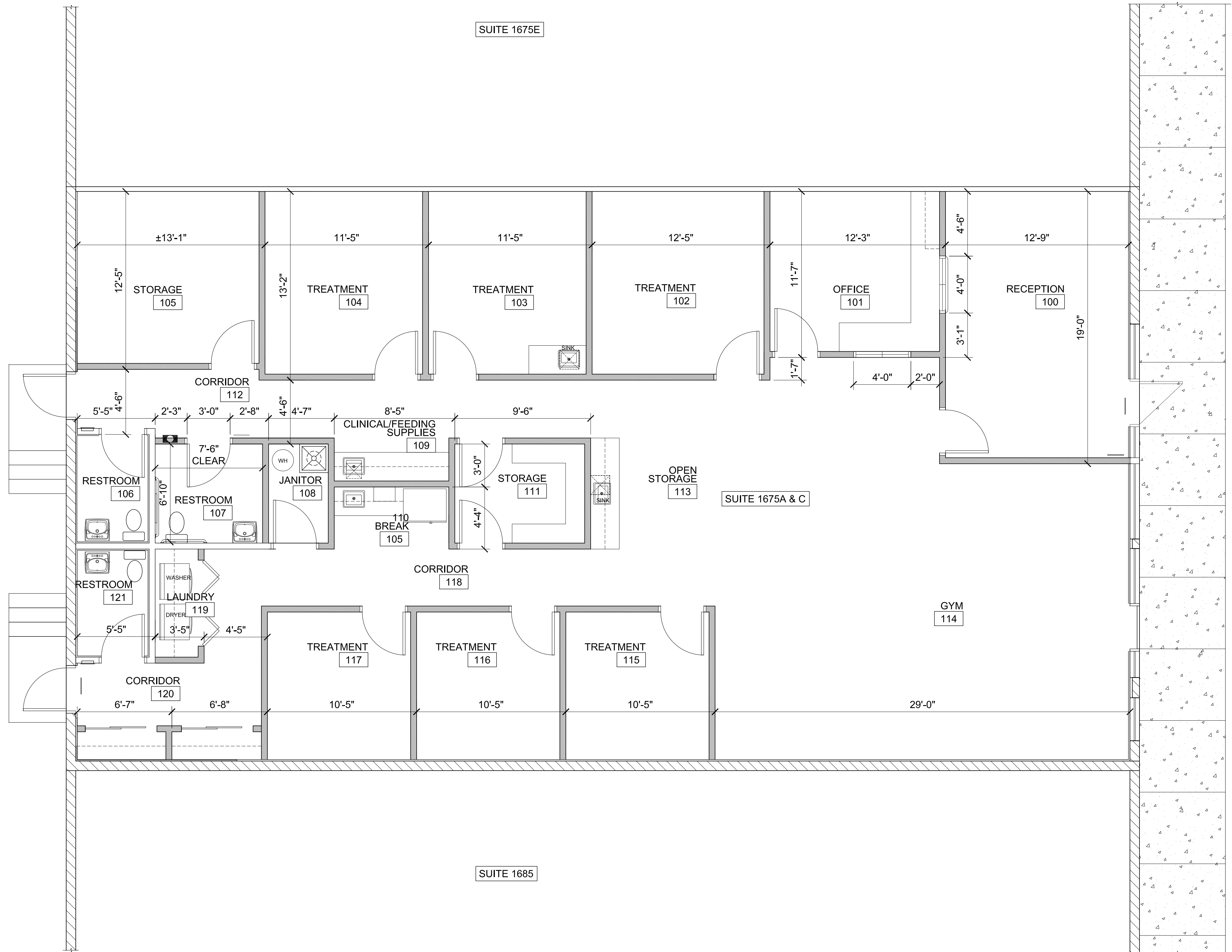
### A2 Elevation Office

Scale: 1/2"=1'-0"



### A1 Elevation Office

Scale: 1/2"=1'-0"



### B1 Dimension Floor Plan

Scale: 1/4"=1'-0"



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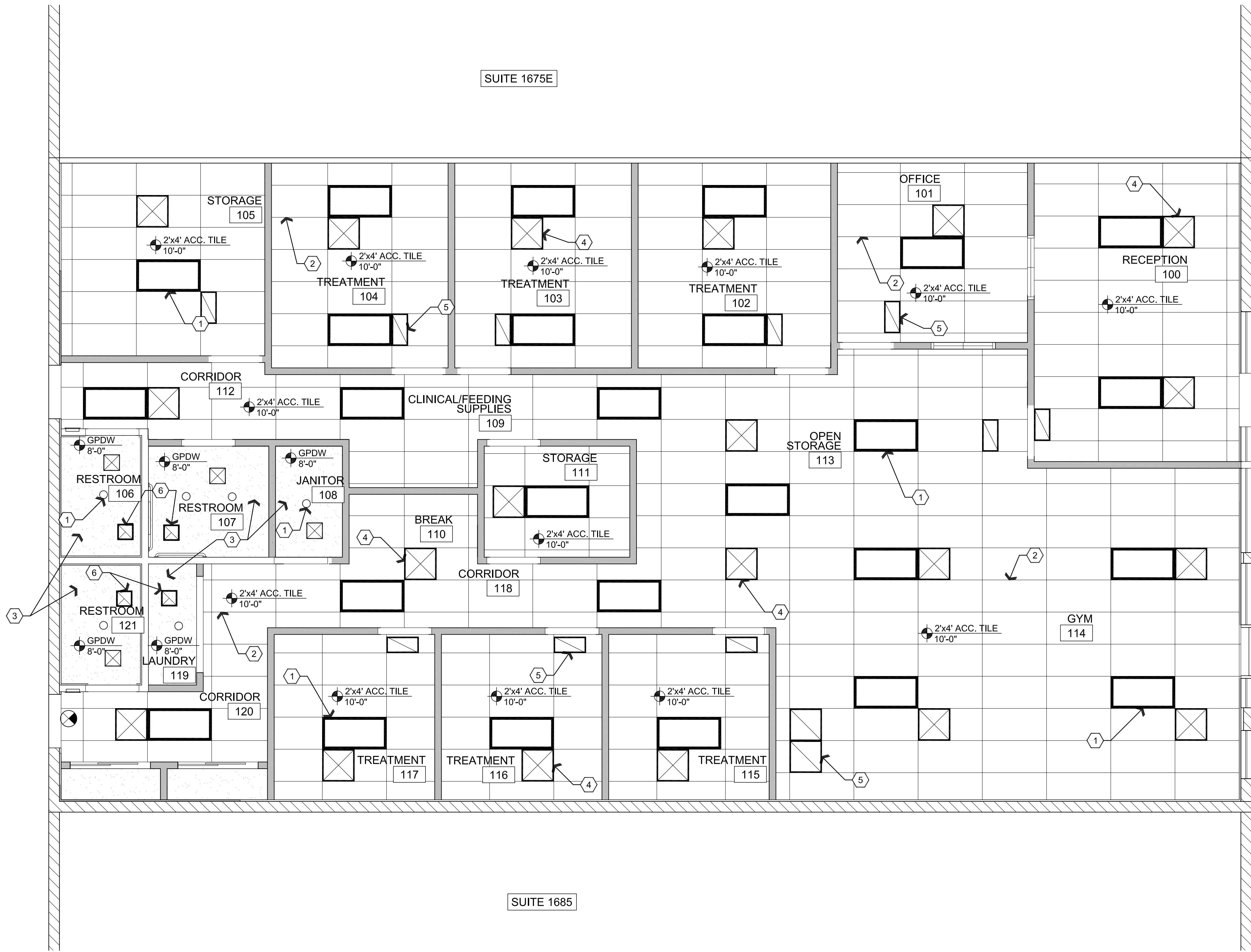
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**DRAWING:** Dimension Floor Plan and Interior Elevations  
**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ  
**APN:** 406-04-035G

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# A2.1

Mar 21, 2023 - 8:05am



# Reflected Ceiling Plan

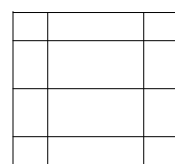
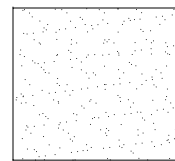
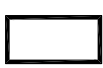





Scale: 1/4"=1'-0"



## Descriptive Keynotes

1. LIGHT FIXTURE(S) SHOWN FOR QUANTITY AND LOCATION ONLY. REFER TO ELECTRICAL PLANS.
2. PROVIDE 2'x4' SUSPENDED ACOUSTIC PANEL CEILING. RE-INSTALL EXISTING CEILING INSULATION ABOVE NEW CEILING.
3. PROVIDE 5/8" GPDW CEILING ATTACHED TO 2x4 WOOD JOISTS @ 2'-0" O.C.
4. HVAC SUPPLY DIFFUSER, REFER TO MECHANICAL PLANS, TYPICAL.
5. HVAC RETURN GRILLE, REFER TO MECHANICAL PLANS, TYPICAL.
6. EXHAUST FAN, REFER TO MECHANICAL PLANS, TYPICAL.

## Legend

-  2'x4' ACOUSTIC PANEL CEILING
-  GPDW CEILING
-  2'x4' LED LIGHT FIXTURE
-  LED CAN LIGHT
-  EMERGENCY EXIT SIGN WITH BATTERY BACK UP
-  HVAC SUPPLY DIFFUSER
-  HVAC RETURN
-  EXHAUST FAN

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DRAWING: Proposed Floor Plan

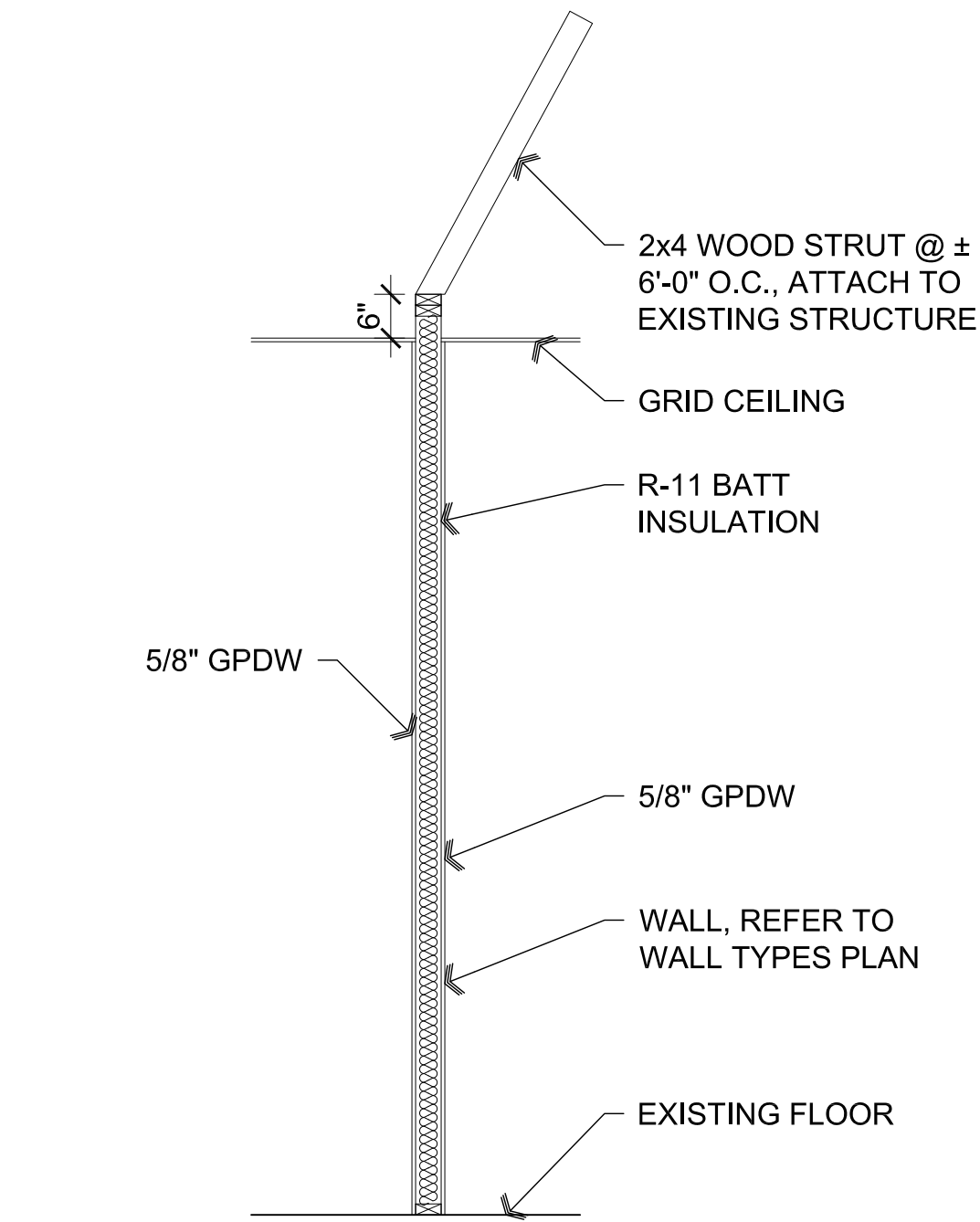
PROJECT: Jodi Gilray Pediatric Therapy  
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APN: 406-04-035G

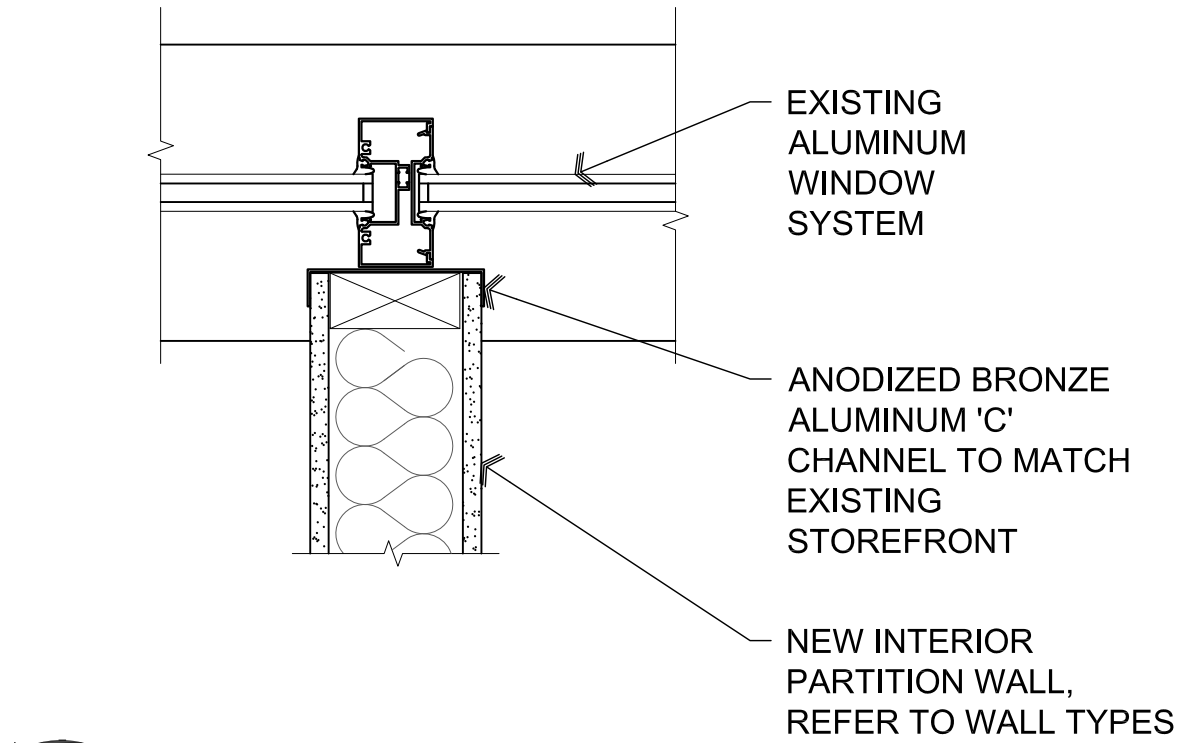
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# A3.0

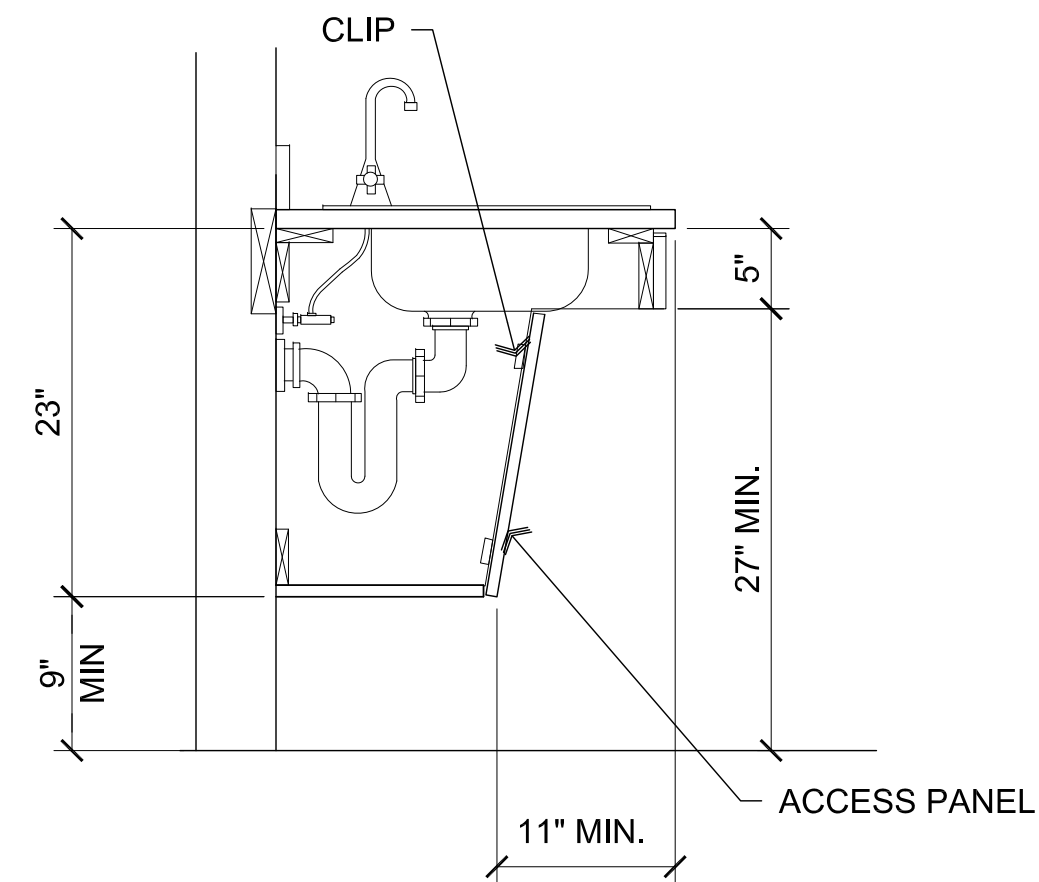
Mar 21, 2023 - 8:05am



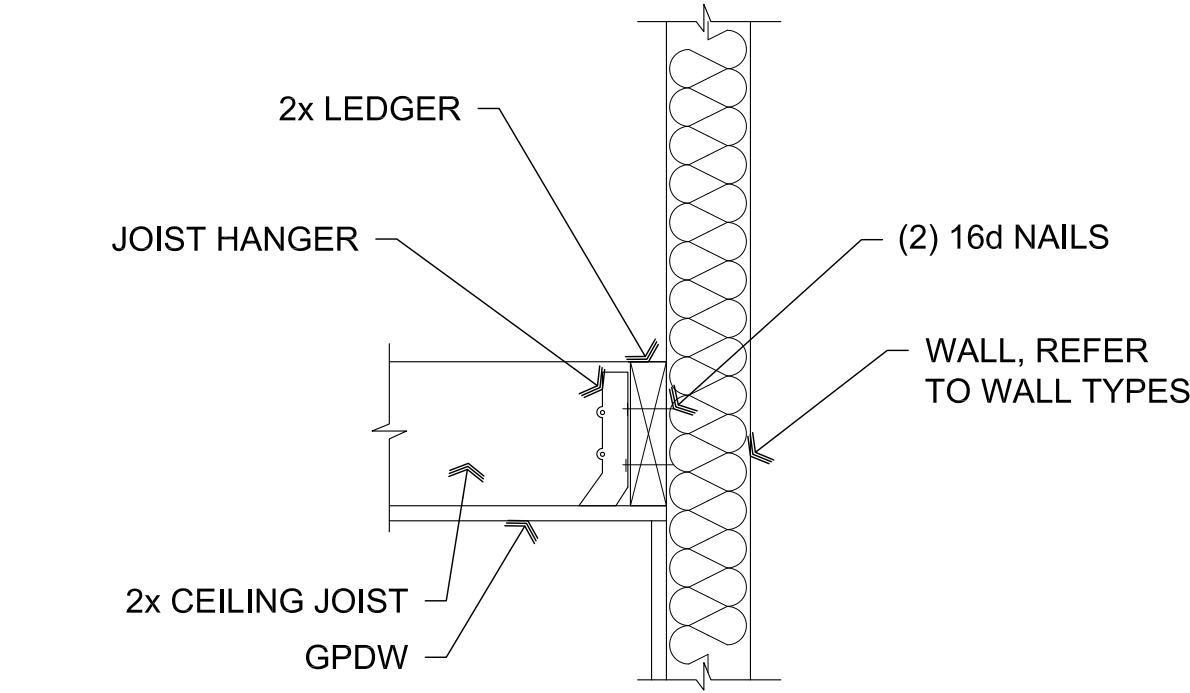
**A3 Interior Wall Section**  
Scale: 1/2"=1'-0"



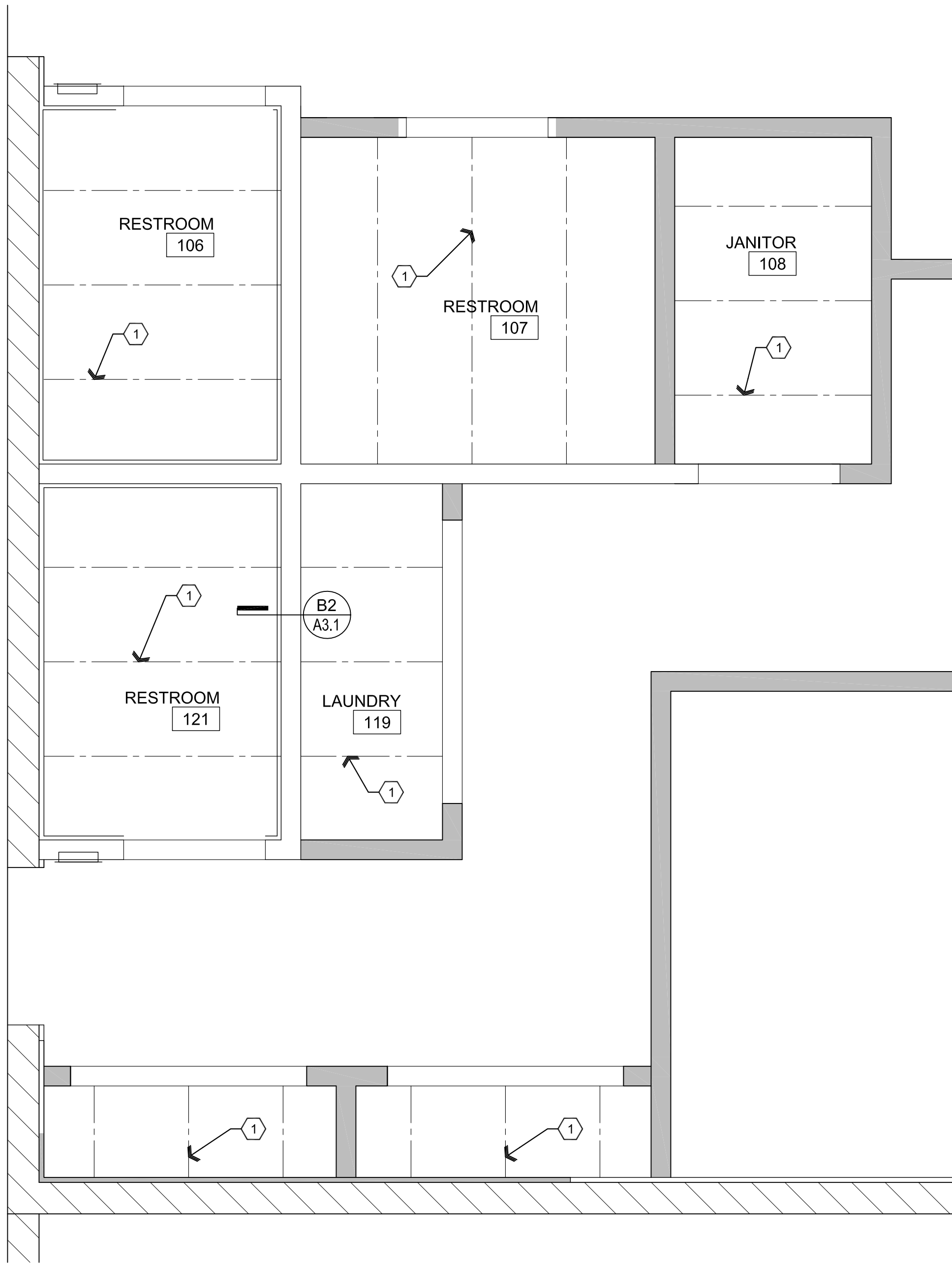
**A2 Interior Wall at Mullion**  
Scale: 3"=1'-0"



**A1 ADA Sink Cabinet Detail**  
Scale: 1"=1'-0"



**B2 Ceiling Framing Detail**  
Scale: 1 1/2"=1'-0"



**B1 Ceiling Framing Plan**  
Scale: 1/4"=1'-0"

Plan North

**Descriptive Keynotes**

1. PROVIDE 2x4 WOOD JOISTS @ 2'-0" O.C.

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**ARCHITECTURE & PLANNING**

**DRAWING:** Ceiling Framing Plan and Details

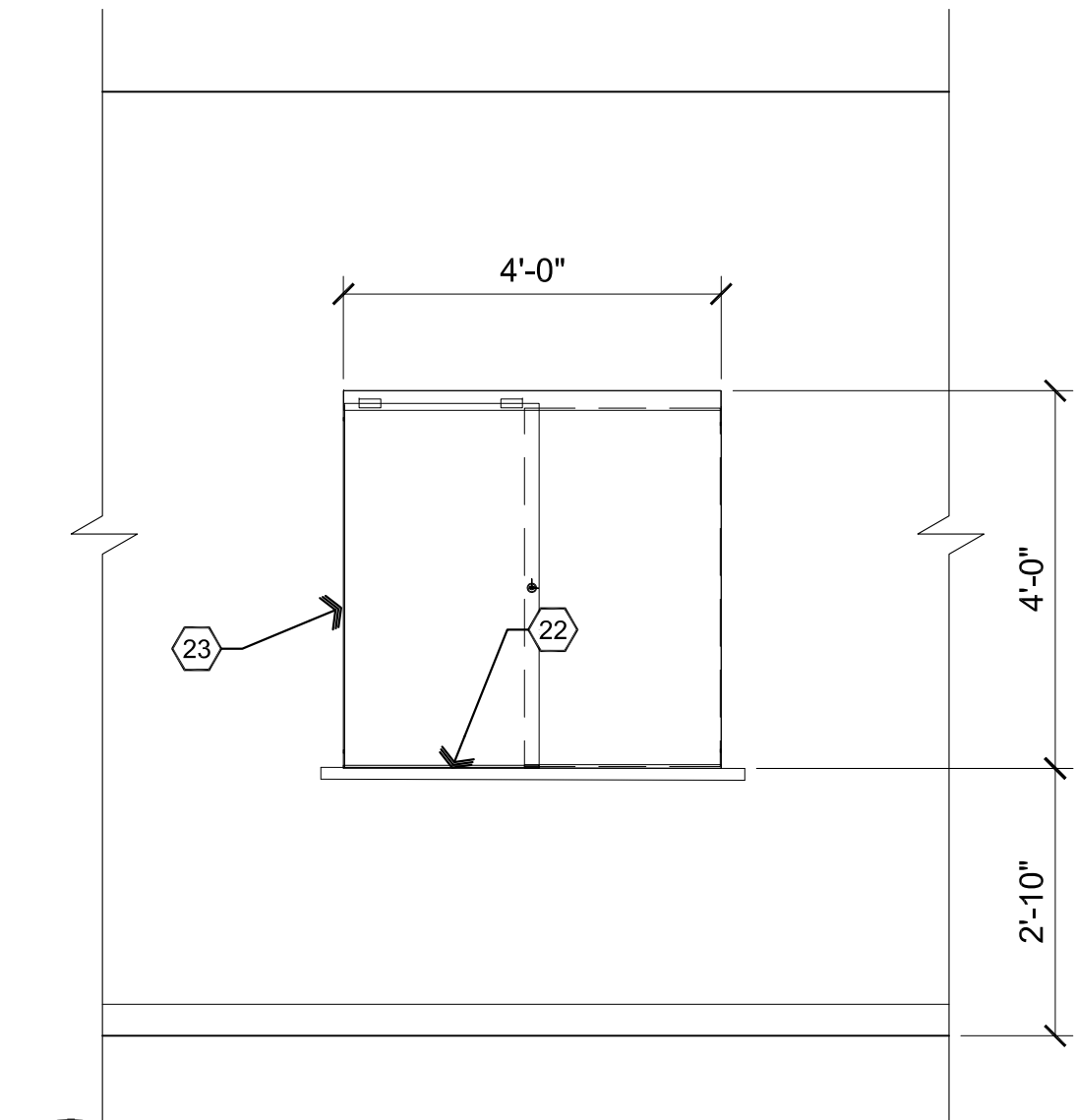
**PROJECT:** Jodi Gilray Pediatric Therapy  
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**APN:** 406-04-035G

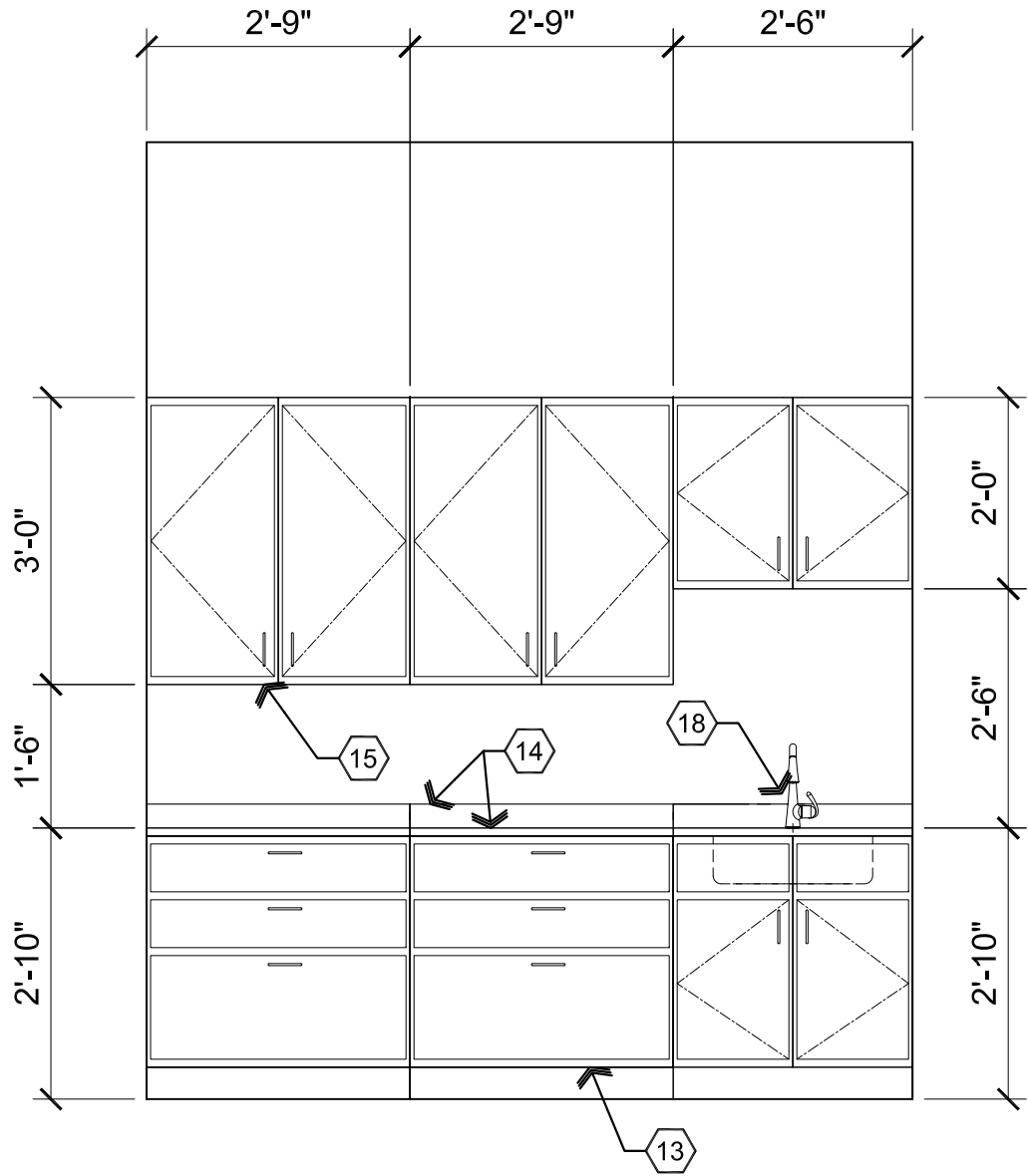
DRAWN BY L.O.
CHECKED BY W.A.K.
DATE March 21st 2023
JOB NO. 791
SHEET

**A3.1**

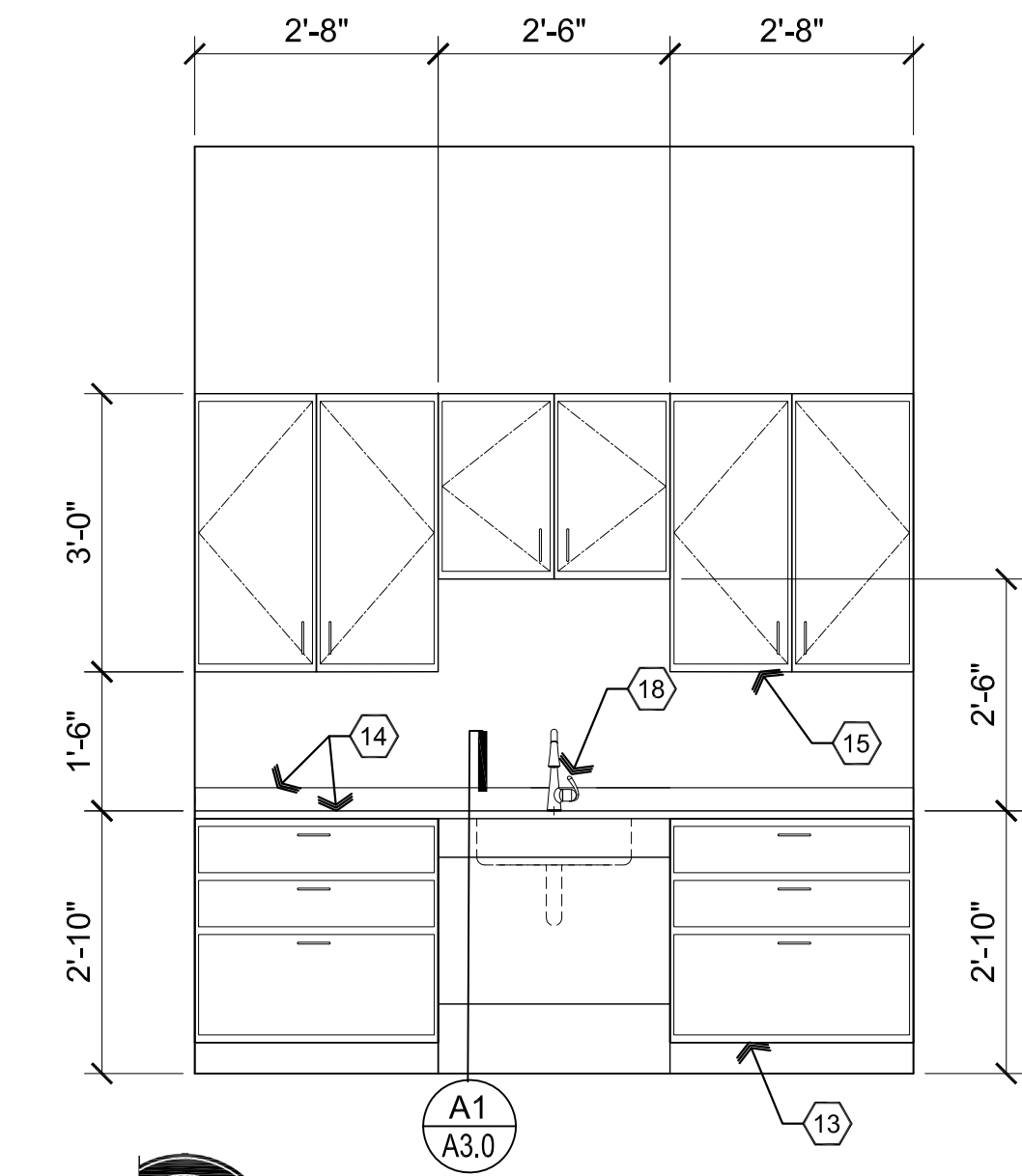
Mar 21, 2023 - 6:58am



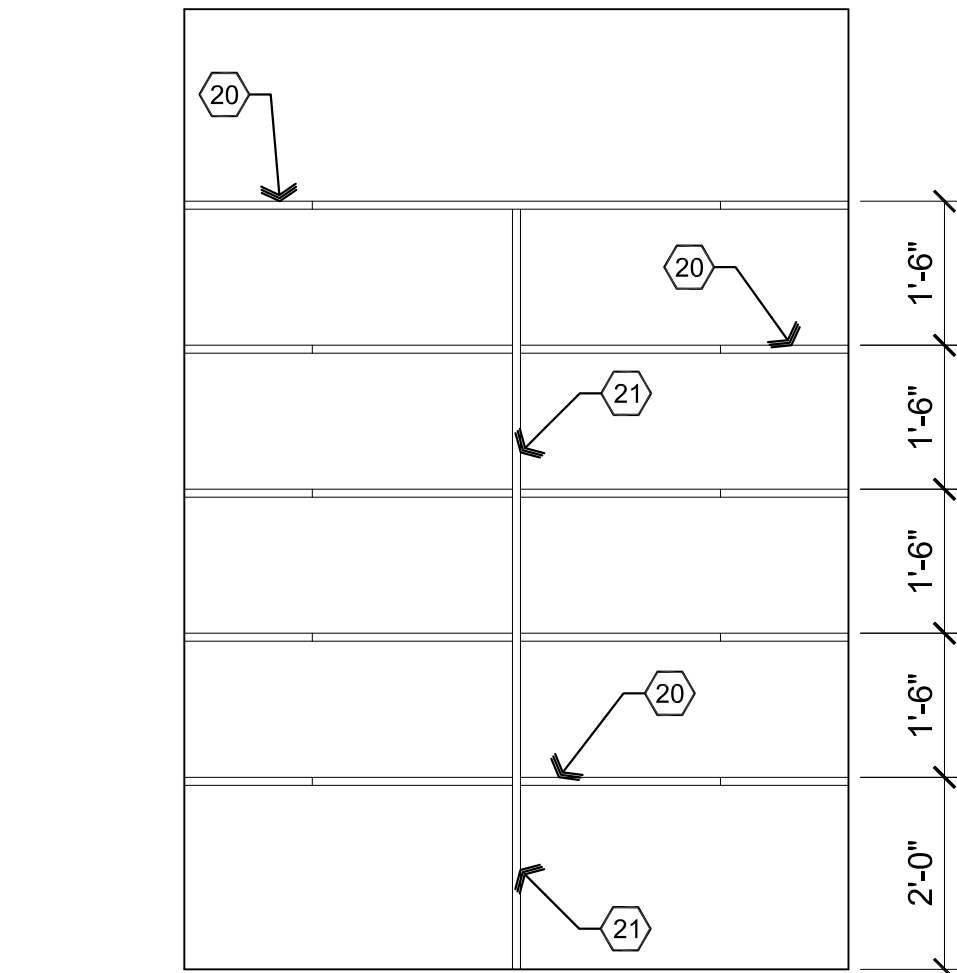
**A1** Elevation Transaction Window  
Scale: 1/2"=1'-0"



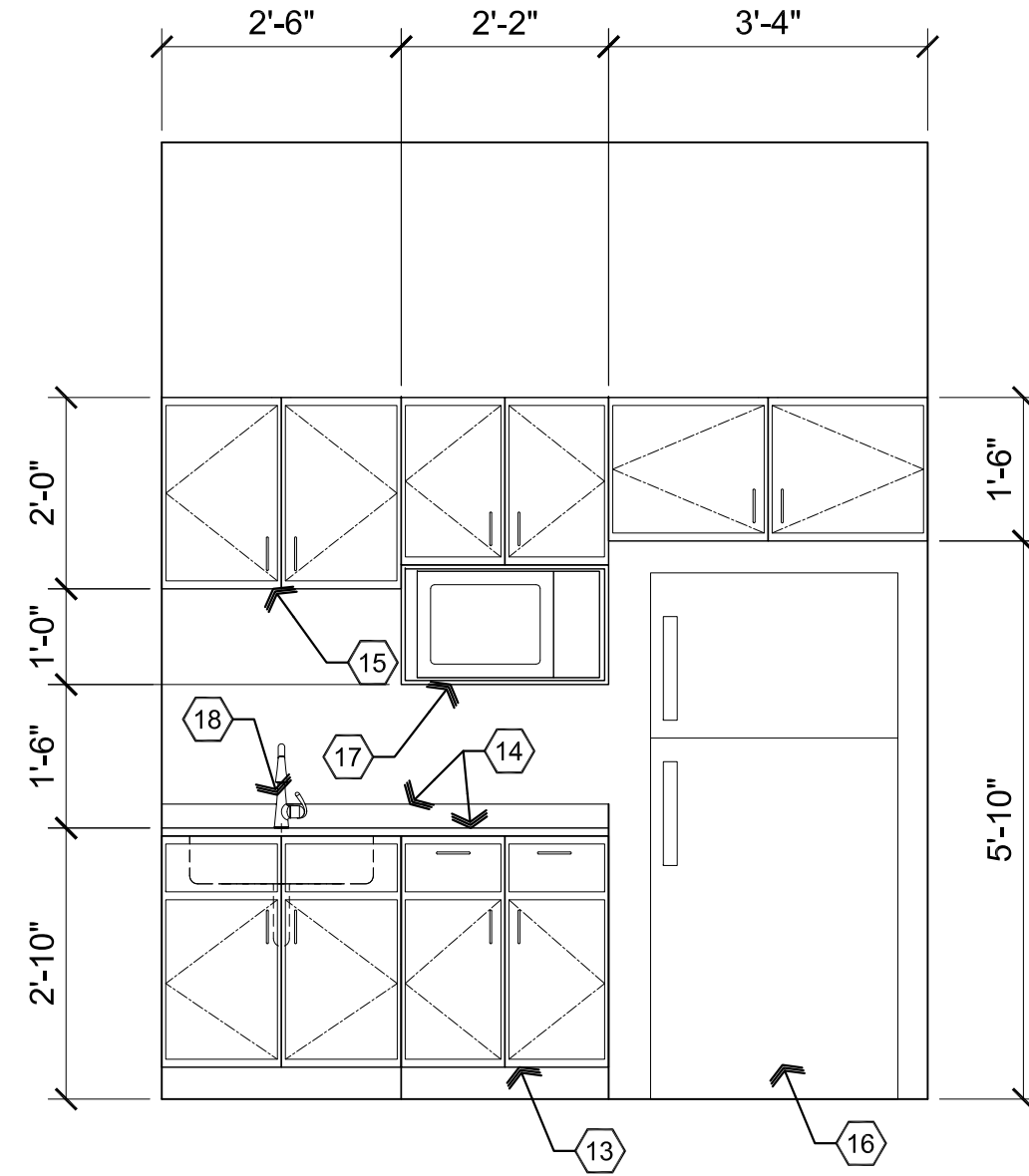
**A2** Elevation Clinical / Feeding  
Scale: 1/2"=1'-0"



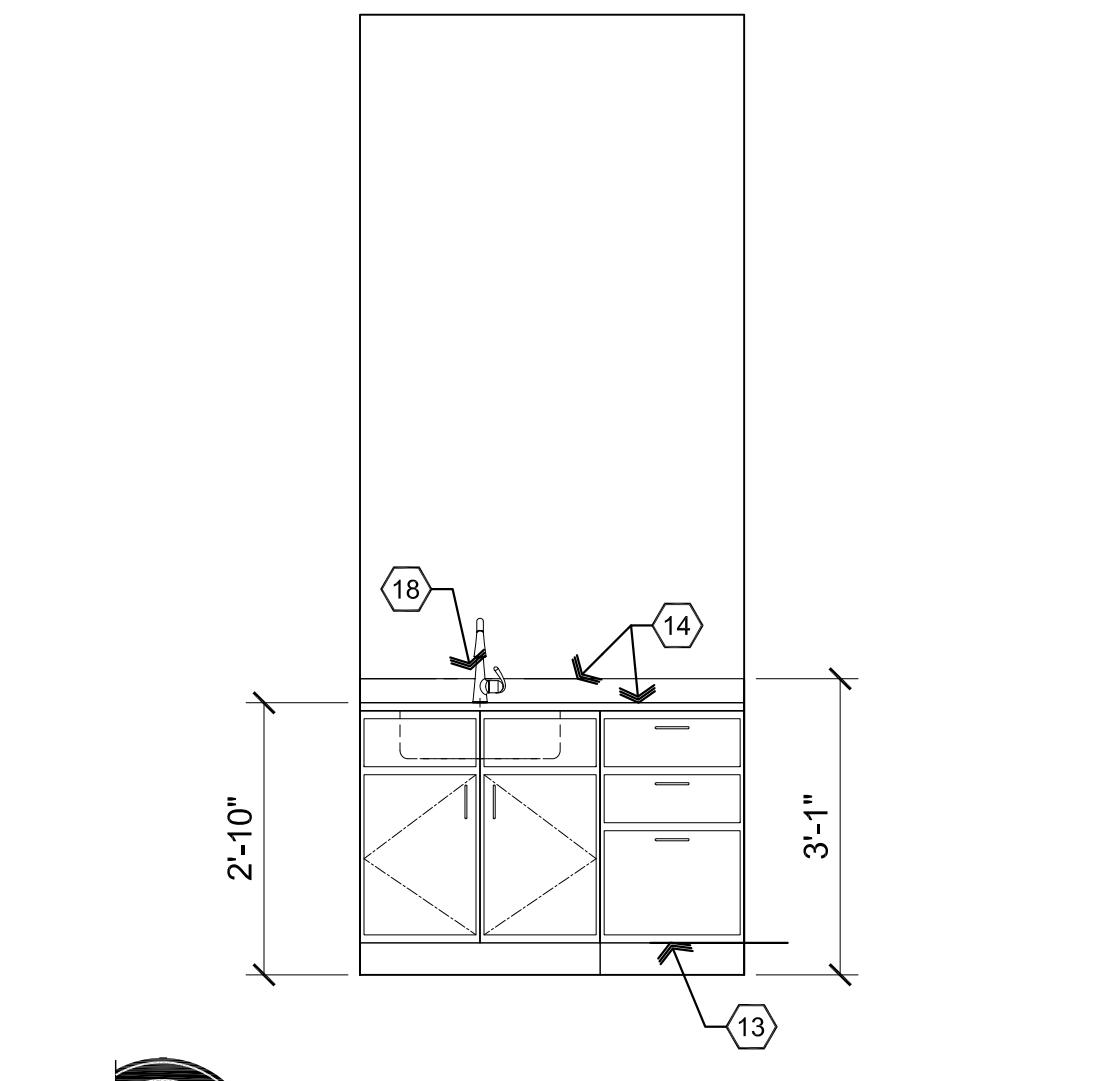
**A3** Elevation Open Storage  
Scale: 1/2"=1'-0"



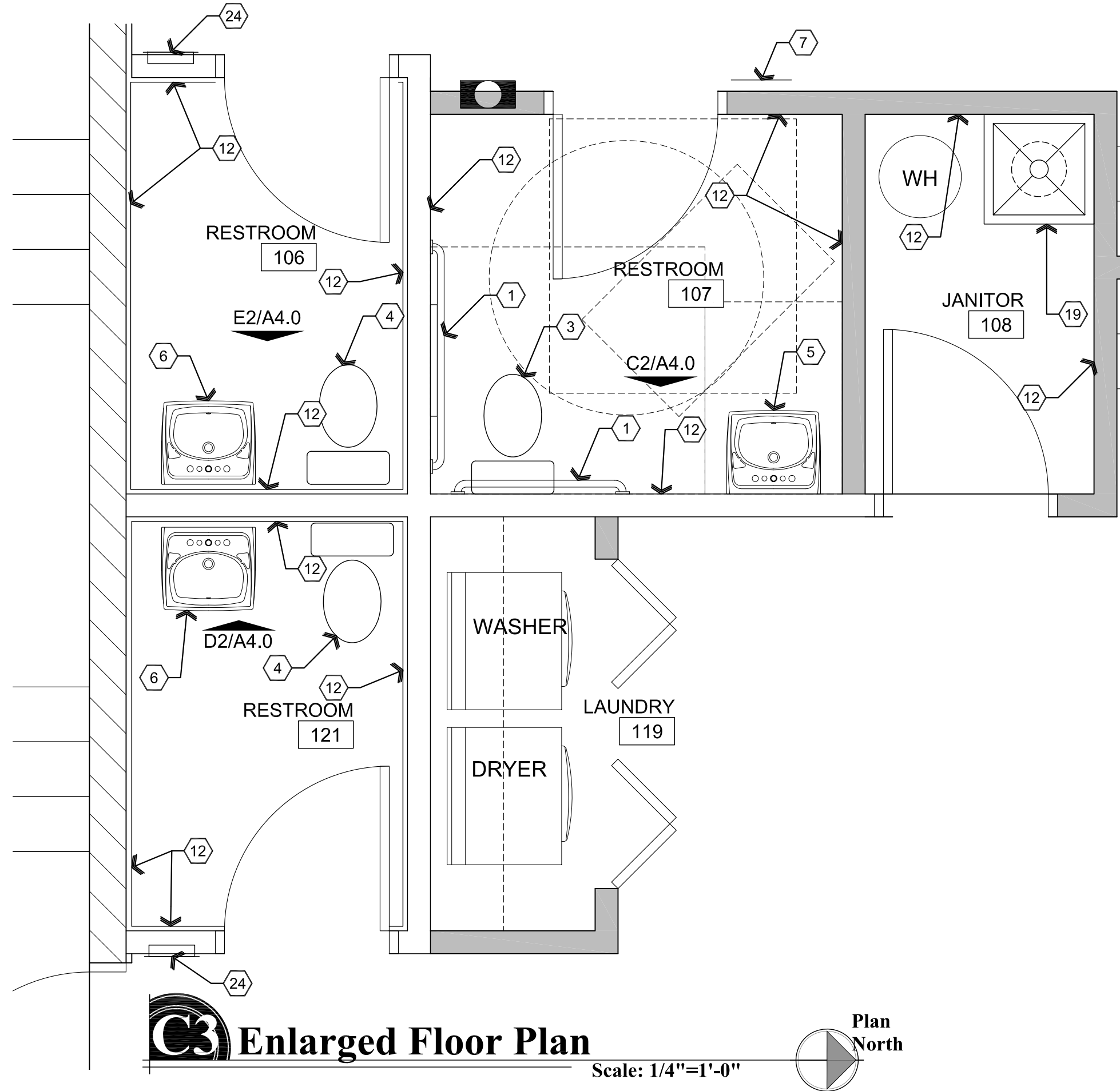
**B1** Elevation Storage  
Scale: 1/2"=1'-0"



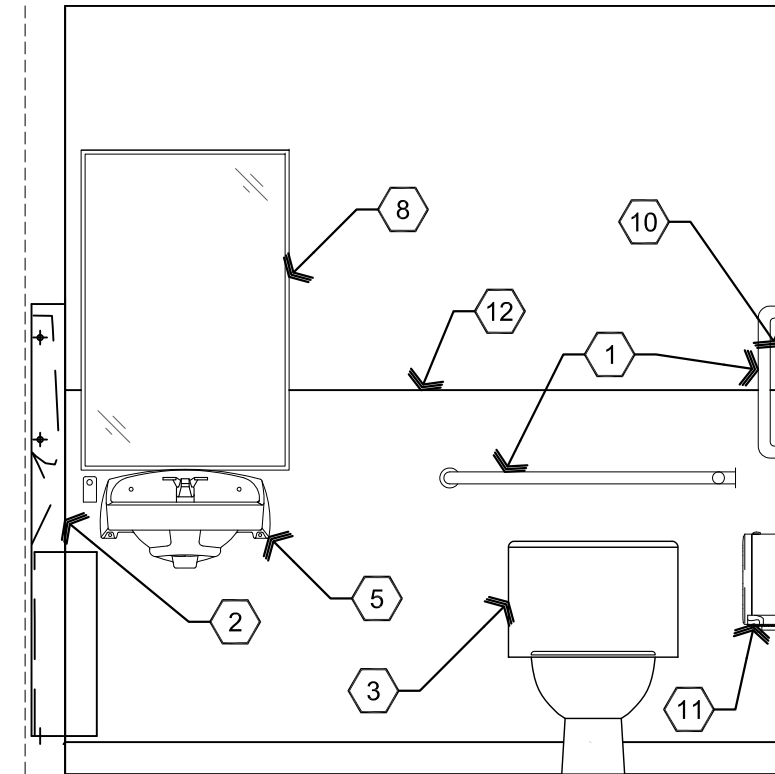
**B2** Elevation Break  
Scale: 1/2"=1'-0"



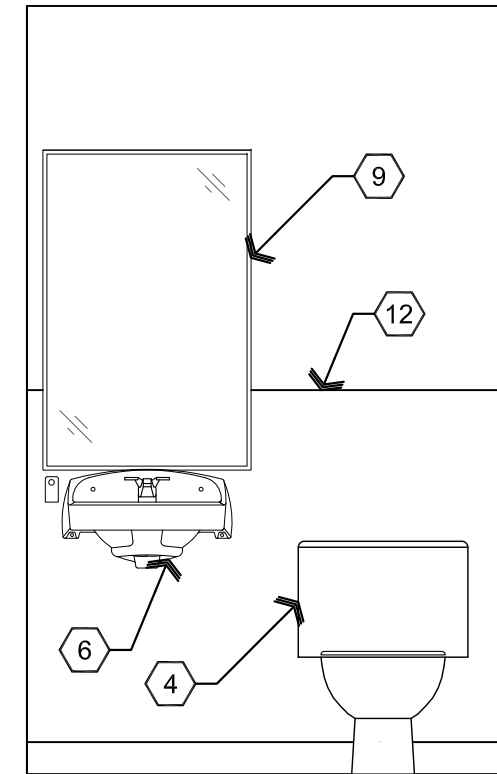
**B3** Elevation Treatment Room  
Scale: 1/2"=1'-0"



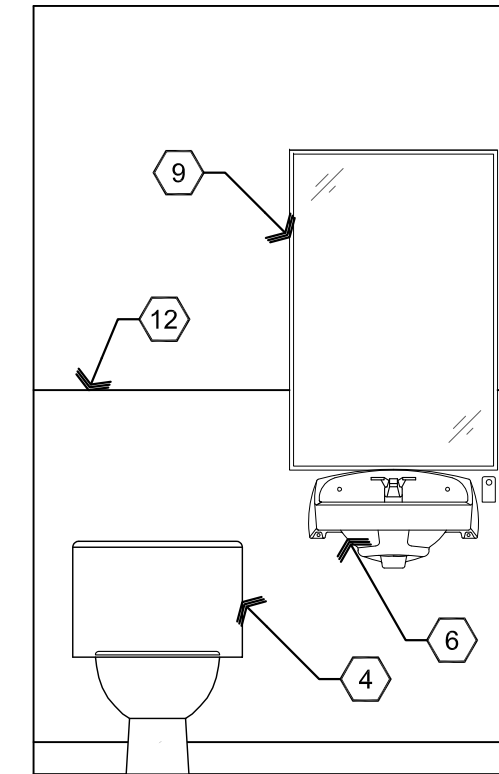
**C3** Enlarged Floor Plan  
Scale: 1/4"=1'-0"



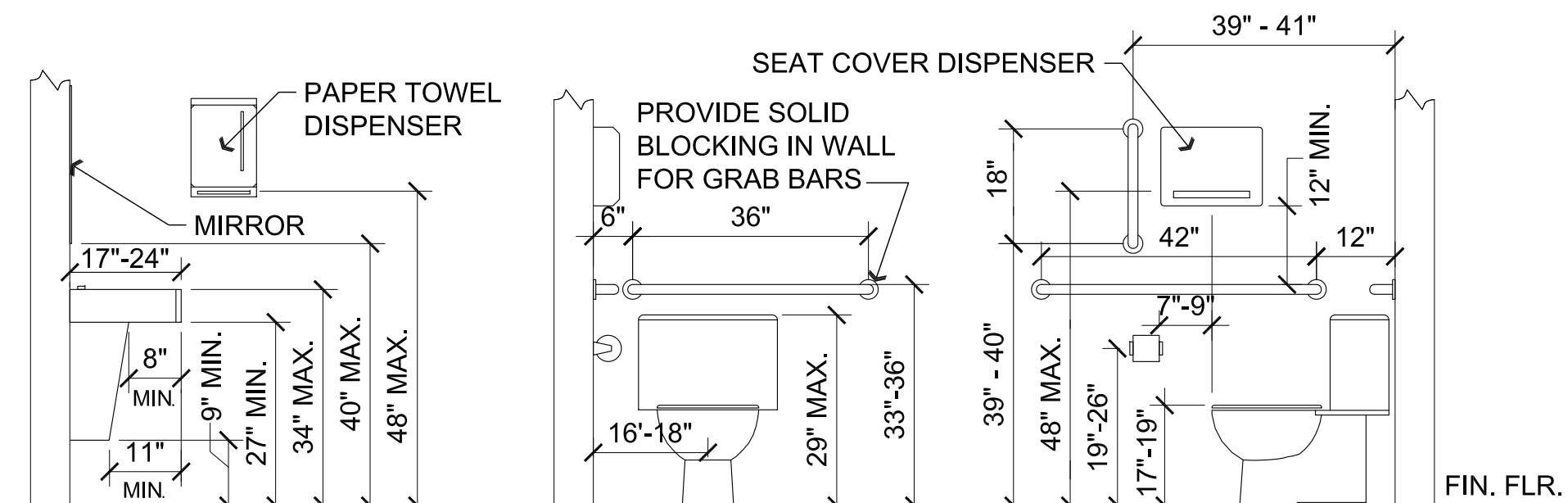
**C2** Elevation  
Scale: 1/2"=1'-0"



**D2** Elevation  
Scale: 1/2"=1'-0"



**E2** Elevation  
Scale: 1/2"=1'-0"



**C1** Typical Fixture Mounting Heights  
Scale: 1/2"=1'-0"

- ### Descriptive Keynotes
1. PROVIDE 1-1/2" DIAMETER GRAB BARS PER A.D.A. REQUIREMENTS, 42" LONG AT SIDE OF WATER CLOSET / 36" LONG AT REAR OF WATER CLOSET / 18" VERTICAL GRAB BAR, PROVIDE SOLID BLOCKING.
  2. PROVIDE PAPER TOWEL DISPENSER.
  3. PROVIDE FLOOR MOUNTED ADA WATER CLOSET, REFER TO PLUMBING DRAWINGS.
  4. REMOVE AND RE-INSTALL EXISTING WATER CLOSET AS REQUIRED FOR INSTALLATION OF FLOORING AND NEW FRP, REFER TO PLUMBING PLANS.
  5. PROVIDE ADA WALL HUNG LAVATORY, INSULATE PIPES, REFER TO PLUMBING DRAWINGS.
  6. REMOVE AND RE-INSTALL EXISTING LAVATORY AS REQUIRED FOR INSTALLATION OF FLOORING AND NEW FRP, REFER TO PLUMBING PLANS.
  7. PROVIDE ACCESSIBILITY SIGNAGE MOUNTED PER A.D.A. REQUIREMENTS.
  8. PROVIDE 1/4" PLATE MIRROR.
  9. REMOVE AND RE-INSTALL EXISTING MIRROR.
  10. PROVIDE SURFACE MOUNTED TOILET SEAT COVER DISPENSER.
  11. PROVIDE TOILET PAPER DISPENSER.
  12. PROVIDE FRP WAINSCOT TO 4' TALL.
  13. PROVIDE PLASTIC LAMINATE LOWER CABINETS.
  14. PROVIDE PLASTIC LAMINATE COUNTERTOP WITH 4" BACKSPASH.
  15. PROVIDE PLASTIC LAMINATE UPPER CABINET.
  16. REFRIGERATOR BY OWNER.
  17. PROVIDE MICRO SHELF (MICROWAVE BY OWNER).
  18. PROVIDE SINK AND FAUCET, REFER TO PLUMBING PLANS.
  19. MOP SINK, REFER TO PLUMBING PLANS.
  20. ADJUSTABLE PLASTIC LAMINATE SHELVES.
  21. VERTICAL PLASTIC LAMINATE DIVIDERS.
  22. PROVIDE PLASTIC LAMINATE TRANSACTION COUNTERTOP.
  23. SLIDING TRANSACTION WINDOW.
  24. EXISTING ELECTRICAL PANEL, REFER TO ELECTRICAL PLANS.

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ARCHITECTURE & PLANNING

**DRAWING:** Enlarged Plan and Interior Elevations

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

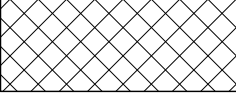
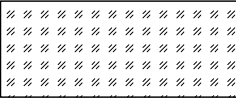
**DRAWN BY** L.O.  
**CHECKED BY** W.A.K.  
**DATE** March 21st 2023  
**JOB NO.** 791  
**SHEET**

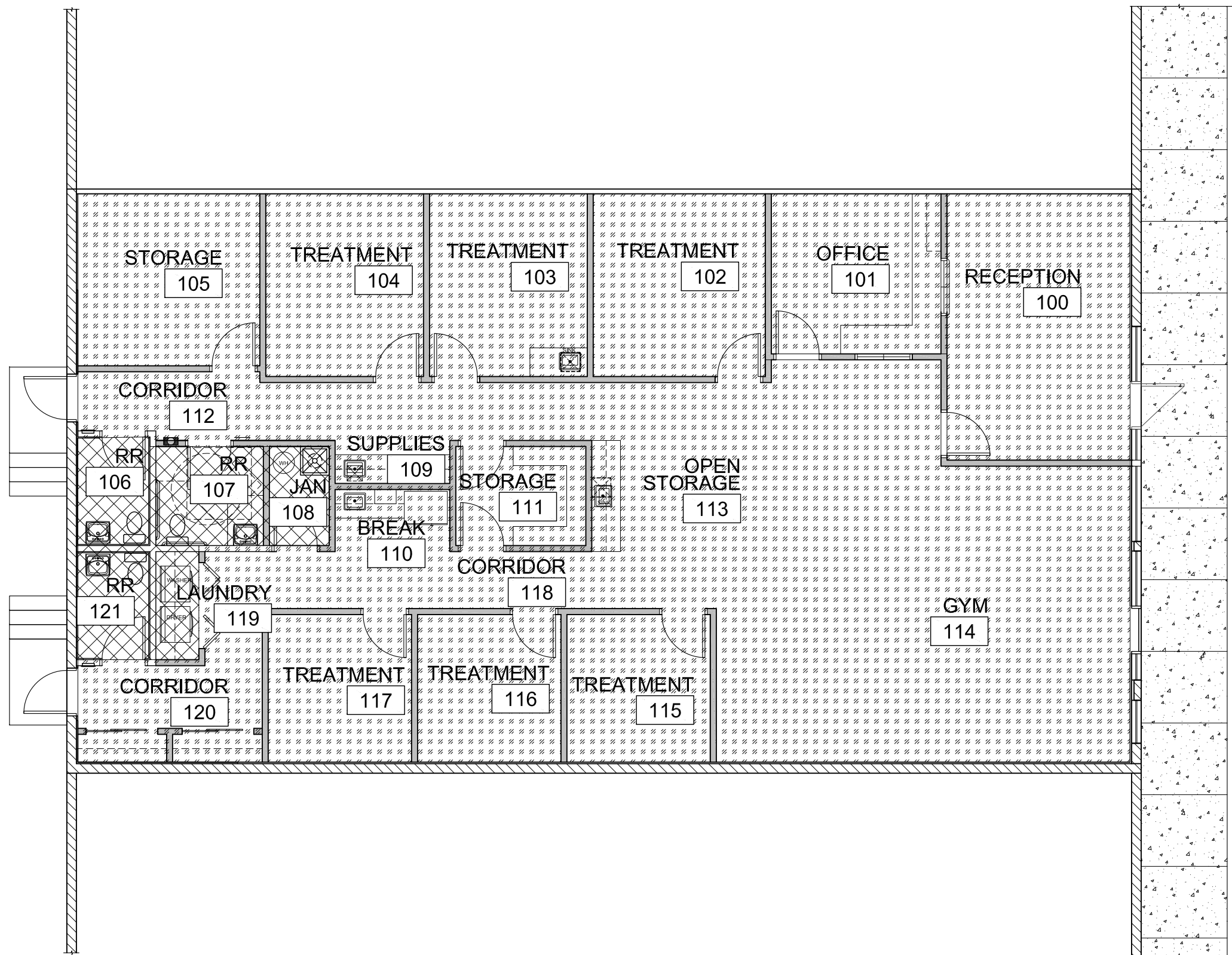
**A4.0**

Room Finish Schedule

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT
100	RECEPTION	CARPET	RUBBER	GPDW	GRID	10'-0"
101	OFFICE	CARPET	RUBBER	GPDW	GRID	10'-0"
102	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
103	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
104	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
105	STORAGE	CARPET	RUBBER	GPDW	GRID	10'-0"
106	RESTROOM	VCT	RUBBER	GPDW/FRP	GPDW	8'-0"
107	RESTROOM	VCT	RUBBER	GPDW/FRP	GPDW	8'-0"
108	JANITOR	VCT	RUBBER	GPDW/FRP	GPDW	8'-0"
109	CLINICAL/FEDING	CARPET	RUBBER	GPDW	GRID	10'-0"
110	BREAK	CARPET	RUBBER	GPDW	GRID	10'-0"
111	STORAGE	CARPET	RUBBER	GPDW	GRID	10'-0"
112	CORRODOR	CARPET	RUBBER	GPDW	GRID	10'-0"
113	OPEN STORAGE	CARPET	RUBBER	GPDW	GRID	10'-0"
114	GYM	CARPET	RUBBER	GPDW	GRID	10'-0"
115	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
116	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
117	TREATMENT	CARPET	RUBBER	GPDW	GRID	10'-0"
118	CORRIDOR	CARPET	RUBBER	GPDW	GRID	10'-0"
119	LAUNDRY	VCT	RUBBER	GPDW	GPDW	8'-0"
120	CORRIDOR	CARPET	RUBBER	GPDW	GRID	10'-0"
121	RESTROOM	VCT	RUBBER	GPDW/FRP	GPDW	8'-0"

Legend

	VCT AS SELECTED BY OWNER
	CARPET AS SELECTED BY OWNER



A1 Room Finish Plan

Scale: 1/8"=1'-0"



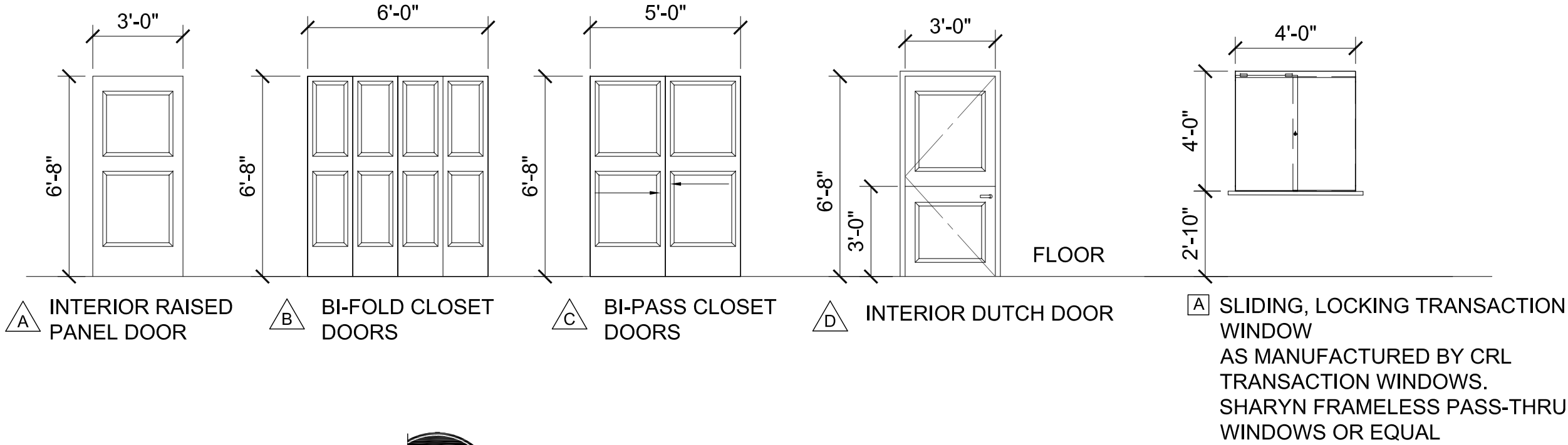
Door Schedule

NO.	ROOM NAME	SIZE	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE TYPE
100A	RECEPTION	3'-0"x6'-8"	D	HCWD	PAINT	WOOD	PAINT	D
100B	RECEPTION	EXISTING						EXISTING
101A	OFFICE	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	A
102A	TREATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
103A	TREATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
104A	TRATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
105A	STORAGE	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	A
106A	RESTROOM	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	B
107A	RESTROOM	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	B
108A	JANITOR	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	A
111A	STORAGE	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	A
111B	STORAGE	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	A
112A	CORRIDOR	EXISTING / NEW PROVIDED BY LANDLORD						C
114A	GYM	EXISTING						EXISTING
115A	TREATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
116A	TREATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
117A	TREATMENT	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	E
119A	LAUNDRY	6'-0"x6'-8"	B	HCWD	PAINT	WOOD	PAINT	-
120A	CORRIDOR	5'-0"x6'-8"	C	HCWD	PAINT	WOOD	PAINT	-
120B	CORRIDOR	5'-0"x6'-8"	C	HCWD	PAINT	WOOD	PAINT	-
120C	CORRIDOR	EXISTING / NEW PROVIDED BY LANDLORD						C
121A	RESTROOM	3'-0"x6'-8"	A	HCWD	PAINT	WOOD	PAINT	B

- NOTES:
- ALL EXIT DOORS & HARDWARE SHALL COMPLY WITH THE 2018 I.B.C.
  - DOOR THRESHOLDS SHALL HAVE A MAX HEIGHT OF 1/2" FOR H.C. ACCESSIBILITY. THRESHOLD SHALL HAVE A MAXIMUM RISE OF 1/4" AND 1/2" RISE WHEN BEVELED WITH MAXIMUM 1:2 SLOPE.
  - ALL GLAZING IN DOORS SHALL BE SAFETY GLAZING.
  - ALL INTERIOR DOORS SHALL BE OPERABLE FOR EMERGENCY EXITING PURPOSES WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE NOR EFFORT.
  - ALL GLAZING WITHIN 24" OF OPENINGS SHALL BE SAFETY GLASS.
  - IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
  - DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
  - DOOR OPENING FORCE SHALL BE: 5lbf MAX INTERIOR HINGED, SLIDING OR FOLDING DOORS; FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.

Door Hardware Schedule

- HARDWARE SET A:  
ELECTRONIC ENTRY LOCK  
3 HINGES, DOOR STOP
- HARDWARE SET B:  
PRIVACY LOCK  
3 HINGES, DOOR STOP
- HARDWARE SET C:  
ELECTRONIC ENTRY LOCK W/ CLOSER,  
3 HINGES, WEATHER STRIP, THRESHOLD
- HARDWARE SET D:  
ELECTRONIC ENTRY LOCK, FLUSH BOLTS,  
DOOR STOP, 4 HINGES
- HARDWARE SET E:  
PASSAGE LOCK, 3 HINGES, DOOR STOP

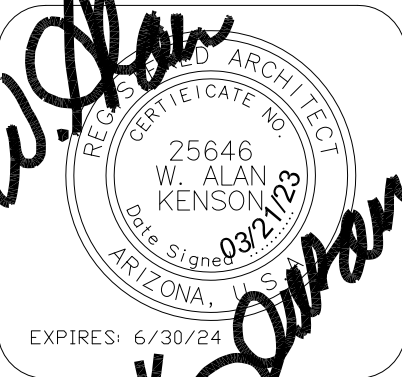


B1 Door and Window Types

Scale: 1/4"=1'-0"

REVISIONS	BY

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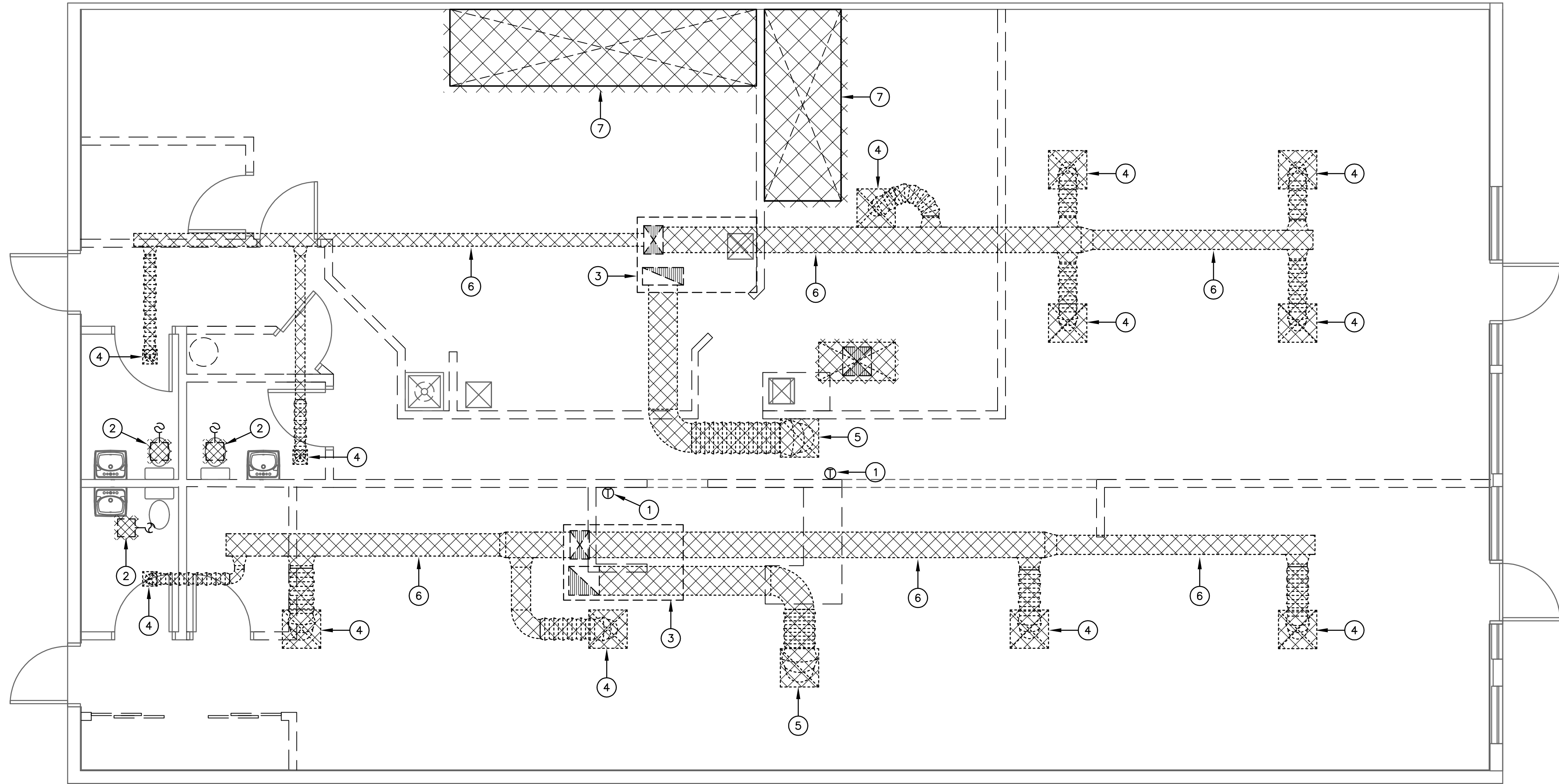
ARCHITECTURE & PLANNING

DRAWING: Door, Window and Hardware Schedules and Room Finish Plan  
PROJECT: Jodi Gilray Pediatric Therapy 1675 E. Cottonwood St. Cottonwood, AZ  
APN: 406-04-035G

DRAWN BY L.O.  
CHECKED BY W.A.K.  
DATE March 21st 2023  
JOB NO. 791  
SHEET

A5.0

Jan 23, 2023 - 12:09pm



**1 Mechanical Demo Floor Plan**

Scale: 1/4"=1'-0"



### KEYNOTES

- EXISTING THERMOSTAT TO BE RELOCATED, SEE SHEET M1.2. COORDINATE FINAL LOCATION WITH ARCHITECT. PROVIDE AND EXTEND CONTROL WIRING AS MAY BE NEEDED.
- DEMO EXISTING CEILING EXHAUST FAN. DUCT THROUGH ROOF AND ROOF DISCHARGE MAY BE REUSED.
- EXISTING ROOFTOP AC TO REMAIN.
- DEMO SUPPLY BRANCH DUCT AND REMOVE EXISTING CEILING DIFFUSER. CLEAN AND STOCKPILE UNDAMAGED DIFFUSERS FOR POSSIBLE REUSE WHERE SUITABLE FOR NEW DESIGN.
- DEMO RETURN BRANCH DUCT AND REMOVE EXISTING CEILING RETURN GRILLE. CLEAN AND STOCKPILE UNDAMAGED GRILLES FOR POSSIBLE REUSE WHERE SUITABLE FOR NEW DESIGN.
- DEMO EXISTING SUPPLY DUCT EXCEPT AS MAY BE COMPATIBLE AND RUSED FOR NEW SCOPE.
- DEMO EXISTING KITCHEN HOODS, EXHAUST DUCTWORK AND ROOFTOP FANS. SEAL ALL ROOF PENETRATIONS WATER TIGHT.

### DEMOLITION

REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK INCLUDED IN THE MECHANICAL CONTRACTOR'S SCOPE.

CONTRACTOR SHALL FIELD VERIFY ALL MECHANICAL SYSTEMS BEFORE BEGINNING ANY WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES FOUND THAT WILL CONFLICT WITH THE WORK SHOWN ON THESE DRAWINGS.

REMOVE ALL EXISTING THERMOSTATS AND RETAIN FOR REINSTALLATION AS SHOWN ON MECHANICAL DRAWINGS. CONTRACTOR SHALL TEST ALL THERMOSTATS FOR PROPER OPERATION AND REPLACE OR REPAIR AS REQUIRED.

SMOKE DETECTORS LOCATED IN EXISTING RETURN DUCTWORK ARE TO BE REINSTALLED PER CODE IN NEW RETURN DUCTWORK AS INDICATED ON THE MECHANICAL DRAWINGS. EXISTING SMOKE DETECTORS LOCATED IN SUPPLY DUCTWORK ARE TO REMOVED AND TRASHED OR SALVAGED



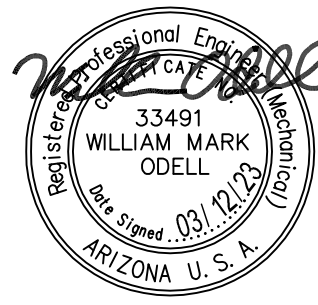
611 West Delano Ave  
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Project  
#23007

11759 N. 143rd Ave.  
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**ARCHITECTURE & PLANNING**

**DRAWING:** Mechanical Demo Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

406-04-035G

**APN:**

**DRAWN BY**

**CHECKED BY**

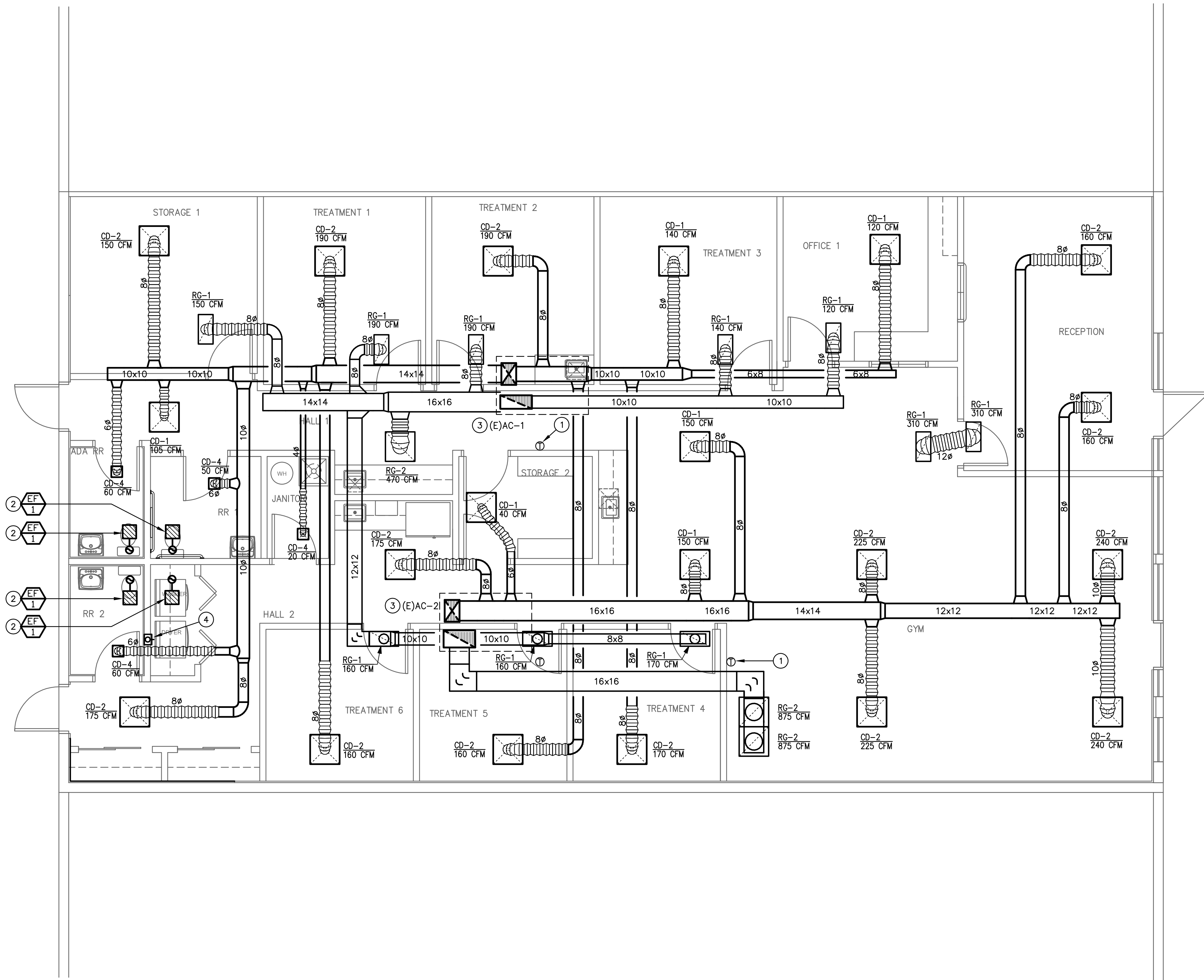
**DATE**  
January 23rd, 2023

**JOB NO.**  
791

**SHEET**

**M1.1**

Jan 23, 2023 - 12:09pm



## 1 Mechanical Floor Plan

Scale: 1/4"=1'-0"

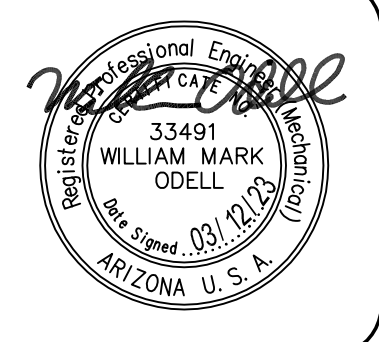


### KEYNOTES

- 1 RELOCATE EXISTING THERMOSTAT. COORDINATE FINAL LOCATION WITH ARCHITECT. PROVIDE AND EXTEND CONTROL WIRING AS MAY BE NEEDED.
- 2 CEILING MOUNTED EXHAUST FAN WITH BACK DRAFT DAMPER. FAN SHALL HAVE INDEPENDENT WALL SWITCH. ROUTE EXHAUST DUCT UP AND CONNECT TO EXISTING DUCT PENETRATING ROOF WITH 45° TAP. CONNECTION SHALL BE WITHIN 12" OF ROOF.
- 3 EXISTING ROOFTOP AC TO REMAIN. REROUTE CONDENSATE DRAIN TO MOP SINK AND BALANCE OUTSIDE AIR PER CALCULATION ON SHEET M2.1.
- 4 4"Ø RIGID DRYER DUCT WITH RECESSED DRYER BOX RECEPTACLE. INSTALL PER CODE TO ROOF DISCHARGE. MAXIMUM EQUIVALENT LENGTH SHALL NOT EXCEED 35 FEET (EXCEPT AS ALLOWED BY DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS). EXHAUST DUCT SHALL BE SECURED TO FRAMING MEMBERS WITH STRAPS AND NOT CONNECTED OR SECURED USING SCREWS OR OTHER FASTENING MEANS WHICH EXTEND INTO DUCT. PROVIDE DRYER DISCHARGE CAP, WITH BACKDRAFT DAMPER.

REVISIONS	BY

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**ARCHITECTURE & PLANNING**

**DRAWING:** Mechanical Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

DRAWN BY

CHECKED BY

DATE  
January 23rd, 2023

JOB NO.

791

SHEET

# M1.2



611 West Delano Ave  
Prescott, AZ 86301  
(602) 499-0001

Project  
#23007

11759 N. 143rd Ave.  
Surprise, AZ 85379  
(623) 444-6143

MECHANICAL SPECIFICATIONS

**GENERAL REQUIREMENTS**  
GENERAL PROVISIONS WHICH MAKE SPECIFIC REFERENCE TO ELECTRICAL DIVISION ONLY ARE INCLUDED HEREIN FOR CLARITY AND SIMPLIFICATION OF SPECIFICATIONS WRITING AND ARE NOT PART OF THE MECHANICAL WORK. THE WORK OF DIVISION 15, MECHANICAL, IS SUBJECT TO THE CONDITIONS OF THE CONDITIONS OF THE CONTRACT, DIVISION 1, GENERAL REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF OTHER PORTIONS OF THE CONTRACT DOCUMENTS. EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS AND COORDINATE THE MECHANICAL WORK ACCORDINGLY.

**INTENT**  
IT IS THE INTENTION OF THE SPECIFICATIONS AND DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS, BUT MENTIONED IN THE SPECIFICATIONS OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND READY FOR OPERATION, EVEN IF NOT PARTICULARLY SPECIFIED, SHALL BE PROVIDED WITHOUT ADDITIONAL EXPENSE TO THE OWNER. SHALL THERE APPEAR TO BE DISCREPANCIES OR QUESTIONS OF INTENT IN THE CONTRACT DOCUMENTS, REFER THE MATTER TO THE ARCHITECT FOR HIS DECISION BEFORE ORDERING ANY MATERIALS OR EQUIPMENT OR BEFORE THE START OF ANY RELATED WORK. THE DECISION OF THE ARCHITECT SHALL BE FINAL, CONCLUSIVE AND BINDING.

**DRAWINGS AND DATA**  
DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE OF WORK AND TO INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, DUCTS, CONDUITS, PIPING AND FIXTURES. THEY ARE NOT INTENDED TO SHOW EVERY OFFSET OR FITTINGS OR EVERY STRUCTURAL DIFFICULTY THAT MAY BE ENCOUNTERED DURING INSTALLATION OF THE WORK. LOCATION OF ALL ITEMS NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. EXACT LOCATIONS NECESSARY TO SECURE BEST CONDITIONS AND RESULTS MUST BE DETERMINED AT PROJECT AND SHALL HAVE APPROVAL OF ARCHITECT BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS. IF SO DIRECTED BY ARCHITECT, WITHOUT EXTRA CHARGE, MAKE REASONABLE MODIFICATIONS IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF OTHER TRADES OR FOR PROPER EXECUTION OF WORK. INCLUDE MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER INSTALLATION AND OPERATION OF A SYSTEM OR PIECE OF EQUIPMENT IN BID PRICE.

**CODES**  
INCLUDE IN WORK, WITHOUT EXTRA COST TO OWNER, LABOR, MATERIALS, SERVICES, APPARATUS, DRAWINGS (IN ADDITION TO CONTRACT DRAWINGS AND DOCUMENTS) REQUIRED TO COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS. DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT THAN CODES, ORDINANCES, STANDARDS AND STATUTES. CODES, ORDINANCES, STANDARDS AND STATUTES TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH DRAWINGS OR SPECIFICATIONS. FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS AND CODES ARE MINIMUM REQUIREMENTS:

- A. APPLICABLE CITY, COUNTY, AND STATE MECHANICAL, ELECTRICAL, GAS, PLUMBING, HEALTH AND SANITARY CODES, LAWS AND ORDINANCES.
- B. CITY OR OTHER APPLICABLE BUILDING CODES.
- C. 2018 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS.
- D. REGULATIONS, PERMITS, INSPECTIONS: COMPLY WITH ALL APPLICABLE CODED, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST CONFORM TO THE INTERNATIONAL MECHANICAL CODE. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

**GENERAL**  
MATERIALS AND EQUIPMENT STANDARD PRODUCTS OF A REPUTABLE MANUFACTURER REGULARLY ENGAGED IN MANUFACTURE OF THE SPECIFIED ITEMS. WHERE MORE THAN ONE UNIT IS REQUIRED OF ANY ITEM, FURNISHED BY THE SAME MANUFACTURER, EXCEPT WHERE SPECIFIED OTHERWISE. INSTALL MATERIAL AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SHOULD VARIANCE BETWEEN PLANS AND SPECIFICATIONS OCCUR WITH THESE, CONTACT ARCHITECT IMMEDIATELY SO THAT VARIATIONS IN INSTALLATION CAN BE KNOWN BY ALL PARTIES CONCERNED. PROVIDE EQUIPMENT FROM MANUFACTURER WHOSE PRODUCTS HAVE LOCAL REPRESENTATION.

**EXECUTION**  
PROTECT EXISTING ACTIVE SERVICES (WATER, GAS, SEWER, ELECTRIC) WHEN ENCOUNTERED, AGAINST DAMAGE FROM CONSTRUCTION WORK. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES WHICH ARE TO REMAIN. IF WORK MAKES TEMPORARY SHUTDOWNS OF SERVICES UNAVOIDABLE, CONSULT WITH OWNER AS TO DATES, PROCEDURES, AND ESTIMATED DURATION OF AT LEAST 10 WORKING DAYS IN ADVANCE OF DATE WHEN WORK IS TO BE PERFORMED. ARRANGE WORK FOR CONTINUOUS PERFORMANCE TO ASSURE THAT EXISTING OPERATING SERVICES WILL BE SHUT DOWN ONLY DURING THE TIME REQUIRED TO MAKE NECESSARY CONNECTIONS. IF A SYSTEM CANNOT SHUT DOWN, INSTALL TEMPORARY BYPASSES OR JUMPERS UNTIL CONNECTIONS ARE COMPLETE. CONTRACTOR RESPONSIBLE FOR ALL COSTS INCURRED BY ABOVE SHUTDOWNS, INCLUDING BYPASS OR JUMPER INSTALLATIONS, FOR WORK PERFORMED UNDER THIS SECTION. IF EXISTING ACTIVE UTILITY SERVICES ARE ENCOUNTERED WHICH REQUIRE RELOCATION, MAKE REQUEST TO PROPER AUTHORITIES FOR DETERMINATION OF PROCEDURES. PROPERLY TERMINATE EXISTING SERVICES TO BE ABANDONED IN CONFORMANCE WITH REQUIREMENTS OF AUTHORITIES. WHERE CONNECTIONS OR DISRUPTIONS ARE MADE TO EXISTING SYSTEMS, REACTIVATE, REFILL, AND RECHARGE ALL COMPONENTS AND RESTORE SYSTEMS TO OPERATING CONDITIONS AT TIME OF DISRUPTION.

**GUARANTEE**  
EACH COMPLETE SYSTEM GUARANTEED BY CONTRACTOR FOR A PERIOD OF ONE YEAR, FROM DATE OF ACCEPTANCE OF WORK BY OWNER IN WRITING, TO BE FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP, AND TO PERFORM SATISFACTORILY UNDER ALL CONDITIONS OF LOAD OR SERVICE. THE GUARANTEES PROVIDE THAT ANY ADDITIONAL CONTROLS, PROTECTIVE DEVICES, OR EQUIPMENT BE PROVIDED AS NECESSARY TO MAKE THE SYSTEM OF EQUIPMENT OPERATE SATISFACTORILY, AND THAT ANY FAULTY MATERIALS OR WORKMANSHIP BE REPLACED OR REPAIRED. ON FAILURE OF GUARANTOR TO DO THE ABOVE AFTER WRITTEN NOTICE FROM OWNER, THE OWNER MAY HAVE THE WORK DOWN AT THE COST OF GUARANTOR. LOSS OF REFRIGERANT IS CONSIDERED A DEFECT IN WORKMANSHIP AND/OR EQUIPMENT, TO BE CORRECTED AS REQUIRED AT NO EXTRA COST TO THE OWNER. PROVIDE EXTENDED FIVE (5) YEAR FACTORY PARTS & LABOR WARRANTY ON ALL AIR CONDITIONING COMPRESSORS.

**AIR CONDITIONING, HEATING AND VENTILATING**

**SCOPE**  
WORK UNDER THIS SECTION INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE REMODELING, INSTALLATION AND PLACING INTO OPERATION THE HEATING, VENTILATING AND AIR CONDITIONING WORK AS SPECIFIED HEREIN AND INDICATED ON THE DRAWINGS.

**VERIFICATION OF DIMENSIONS:**  
SCALED AND FIGURED DIMENSIONS ARE APPROXIMATE ONLY. BEFORE PROCEEDING WITH WORK, CAREFULLY CHECK AND VERIFY AT THE SITE, AND RESPONSIBLE FOR PROPERLY FITTING EQUIPMENT AND MATERIALS TOGETHER AND TO THE STRUCTURE IN SPACES PROVIDED. DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND MANY OFFSETS, BENDS, SPECIAL FITTINGS AND EXACT LOCATIONS ARE NOT INDICATED. CAREFULLY STUDY DRAWINGS AND PREMISES IN ORDER TO DETERMINE BEST METHODS, EXACT LOCATIONS, ROUTES AND BUILDING OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.

**CUTTING AND PATCHING:**  
CUT EXISTING WORK AND PATCH AS NECESSARY TO PROPERLY INSTALL THE NEW WORK. AS THE WORK PROGRESSES, LEAVE NECESSARY OPENINGS, HOLES AND CHASES, ETC., IN THEIR CORRECT LOCATIONS. IF THE REQUIRED OPENINGS, HOLES AND CHASES ETC., ARE NOT IN THEIR CORRECT LOCATIONS, MAKE THE NECESSARY CORRECTIONS AT NO COST TO THE OWNER. AVOID EXCESSIVE CUTTING AND DO NOT CUT STRUCTURAL MEMBERS WITHOUT CONSENT OF ARCHITECT.

**REGULATIONS, PERMITS & INSPECTIONS**  
COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. ALL MATERIALS, EQUIPMENT AND WORK MUST CONFORM TO THE INTERNATIONAL MECHANICAL CODE. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND LICENSES. WHEN REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES.

**DUCTWORK**  
ALL DUCTWORK FABRICATED AS PER LATEST INTERNATIONAL MECHANICAL CODE REQUIREMENTS AND SMACNA MANUAL. EXTENSION OF EXISTING DUCTWORK SHALL BE MADE WITH SOME MATERIAL. DUCTWORK SHALL BE CONSTRUCTED OF NEW, HOT-DIPPED GALVANIZED SHEET METAL ASTM A-120 FOR EACH SIDE. TAPE ALL CROSS-JOINTS IN SHEET METAL DUCT WITH HARDCAST. TAKE-OFF FITTINGS SHALL BE CONICAL SPIN-IN WITH QUADRANT DAMPER. TURNING VANES SHALL BE INSTALLED IN ALL MITERED ELBOWS.

**HVAC EQUIPMENT CONDENSATE DRAINS**  
USE TYPE M COPPER TUBING AND WROUGHT COPPER MECHANICAL FITTINGS. EXTEND DRAINS TO NEAREST ROOF DRAIN OR LAVATORY TAIL-PIECE (FURNISHED BY PLUMBER). SLOPE DRAIN AT A MINIMUM OF 1/8" PER FOOT.

EXHAUST FAN SCHEDULE

MARK	MOUNTING /LOCATION	MANUFACTURER	MODEL	CFM	E.S.P.	SONES @ 0.1"	MOTOR		BAROM. DAMPER	WIRE SCREEN	DRIVE	REMARKS
							AMPS	V/PH				
EF-1	CEILING	GREENHECK	SP-A90	60	0.25"	1.2	29.4 W	120/1	YES	YES	DIRECT	①②③

- ① PROVIDE UNIT WITH FACTORY SUPPLIED EXHAUST GRILLE.
- ② PROVIDE EXHAUST FAN WITH BACK DRAFT DAMPER.
- ③ UNIT SHALL BE CONTROLLED BY WALL SWITCH.
- ④ PROVIDE WITH "GREENHECK" ROOF DISCHARGE CAP #RCC-7 AND CURB.

GRILLES/REGISTERS/DIFFUSERS SCHEDULE

MARK	DESCRIPTION	MODULE SIZE	TYPE	OBD	FRAME ①	MATERIAL	FINISH	MANUF.	MODEL	REMARKS
CD-1	SUPPLY DIFFUSER	24" x 24"	SQUARE CEILING	NO	LAY-IN	STEEL	WHITE	TITUS	TMS	6ø NECK
CD-2	SUPPLY DIFFUSER	24" x 24"	SQUARE CEILING	NO	LAY-IN	STEEL	WHITE	TITUS	TMS	8ø NECK
CD-3	SUPPLY DIFFUSER	9" x 9"	SQUARE CEILING	YES	SURFACE	STEEL	WHITE	TITUS	TDC	6ø NECK
RG-1	RETURN GRILLE	10" x 22"	SINGLE DEFLECT.	NO	LAY-IN	STEEL	WHITE	TITUS	350RLF	FILTER RETURN WITH HINGED ACCESS
RG-2	RETURN GRILLE	22" x 22"	SINGLE DEFLECT.	NO	LAY-IN	STEEL	WHITE	TITUS	350RLF	FILTER RETURN WITH HINGED ACCESS

NOTES:  
SCHEDULE REPRESENTS DESIGN INTENT. CONTRACTOR SHALL CLEAN AND REUSE GRILLES AND DIFFUSERS THAT MEET NEW DESIGN CRITERIA. SCHEDULED MAKE AND MODELS ARE FOR REFERENCE. ALL NEW DEVICES SHALL MATCH EXISTING.

- ① PROVIDE FRAME STYLE TO SUIT CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS.
- ② COORDINATE FINAL SELECTIONS AND FINISH WITH OWNER/ARCHTECT.

ASHRAE 62.1 OUTSIDE AIR VENTILATION CALC

Outside Air for unit (E)AC-1								
Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz	
Medical Procedure Room	742	10	25	7.42	0.12	742	274.5	
Office Spaces	132	5	5	0.66	0.06	132	11.2	
Storage	308	0	0	0	0.12	308	37.0	
Corridors	283	0	0	0	0.06	283	17.0	
Total Net OSA Required							340	
Balance (E)AC-1 for 340 CFM								
Outside Air for unit (E)AC-2								
Space	Area	Occ Density	Rp	Pz	Ra	Az	Vbz	
Physical Therapy	843	Per ASHRAE 170 (Ventilation of health Care Facilities table 7.1)		7.11	0.06	237	281.0	
Reception Areas	237	30	5		0.06	237	49.8	
Corridors	172	0	0	0	0.06	172	10.3	
Storage	63	0	0	0	0.12	63	7.6	
Total Net OSA Required							349	
Balance (E)AC-2 for 349 CFM								

**6.2.2.1 Breathing Zone Outdoor Airflow.** The design outdoor airflow required in the *breathing zone* of the occupiable space or spaces in a *zone*, i.e., the *breathing zone outdoor airflow* ( $V_{bz}$ ), shall be determined in accordance with Equation 6-1.

$$V_{bz} = R_p \cdot P_z + R_a \cdot A_z \quad (6-1)$$

where  
 $A_z$  = *zone floor area*: the net occupiable floor area of the zone m<sup>2</sup> (ft<sup>2</sup>)

$P_z$  = *zone population*: the largest number of people expected to occupy the zone during typical usage. If the number of people expected to occupy the zone fluctuates,  $P_z$  may be estimated based on averaging approaches described in Section 6.2.6.2

**Note:** If  $P_z$  cannot be accurately predicted during design, it shall be an estimated value based on the zone floor area and the default occupant density listed in Table 6-1.

$R_p$  = outdoor airflow rate required per person as determined from Table 6-1

**Note:** These values are based on adapted occupants.

$R_a$  = outdoor airflow rate required per unit area as determined from Table 6-1

GENERAL REQUIREMENTS

- 1 – PROVIDE CLEARANCES AS PER MANUFACTURER'S RECOMMENDATIONS.
- 2 – PITCH DRAIN LINES 1/8" PER 12" RUN TOWARDS TERMINATION. INSULATE IN CONDENSATE DRAIN LINE WITH 3/8" CLOSED CELL "ARMIFLEX" TUBE INSULATION, TO PREVENT CONDENSATE DRIP.
- 3 – PRIOR TO THE CONTRACTOR ORDERING OR SETTING ANY AIR CONDITIONING EQUIPMENT, DUCTWORK, OR AIR DEVICE, HE SHALL VERIFY LOCATION OF PLACEMENT WITH STRUCTURAL DRAWINGS AND CONFIRM WEIGHTS, DISCHARGE CONFIGURATION, SIZES, ELECTRICAL CHARACTERISTICS AND ANY OTHER DIMENSIONAL DATA WHICH MIGHT AFFECT THE SUCCESSFUL INSTALLATION OF THE EQUIPMENT.

COORDINATION NOTES

- 1 – COORDINATE OPENING'S FOR GRILLES, REGISTERS, DIFFUSERS AND DUCTWORK WITH FRAMING CONTRACTOR PRIOR TO ROUGH-IN.
- 2 – COORDINATE EXACT LOCATION OF ALL GRILLES, REGISTERS AND DIFFUSERS WITH ARCHITECTURAL PLANS.
- 3 – LIGHTING & SPRINKLER HEADS TAKE PRECEDENCE OVER DIFFUSER LOCATION. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO DIFFUSERS TO AVOID ANY CONFLICT WITH LIGHTING LAYOUT & SPRINKLER HEADS.
- 4 – CONTRACTOR TO COORDINATE THERMOSTAT AND EVAP CONTROL LOCATIONS WITH OWNER & ARCHITECT PRIOR TO MOUNTING.
- 5 – ALL THERMOSTATS ARE TO BE MOUNTED AT A HEIGHT OF 48" ABOVE THE FLOOR LEVEL FOR DISABLED ACCESS.

DUCT CONSTRUCTION NOTES

- 1 – ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH "ASHRAE GUIDE" AND "SMACNA STANDARDS" AND IN CONFORMANCE WITH REQUIREMENTS OF LOCAL BUILDING, MECHANICAL AND ENERGY CONSERVATION CODES. WHERE MORE THAN ONE REGULATION OR CODE APPLIES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 2 – ALL DUCTWORK JOINTS SHALL BE SEALED WITH WATER-BASED MASTIC.
- 3 – HANGERS FOR SHEET METAL DUCTWORK SHALL BE INSTALLED AS REQUIRED BY 2018 IMC.



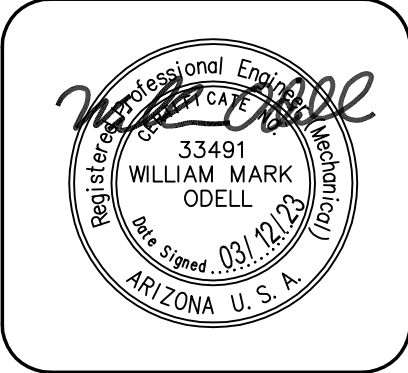
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**ARCHITECTURE & PLANNING**

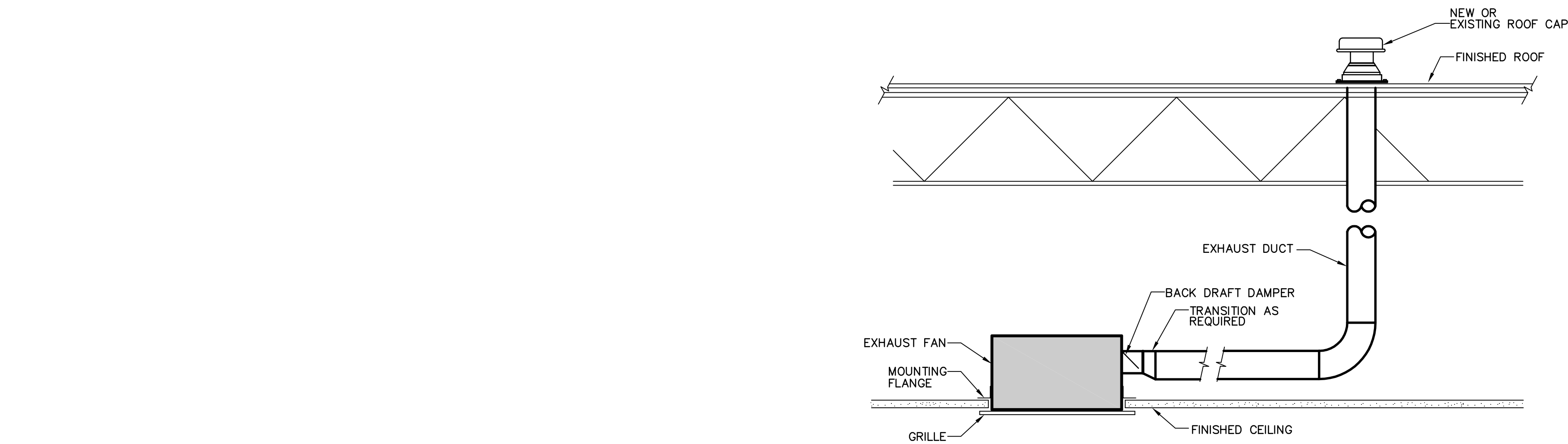
**DRAWING:** Mechanical Schedules

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

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DATE January 23rd, 2023
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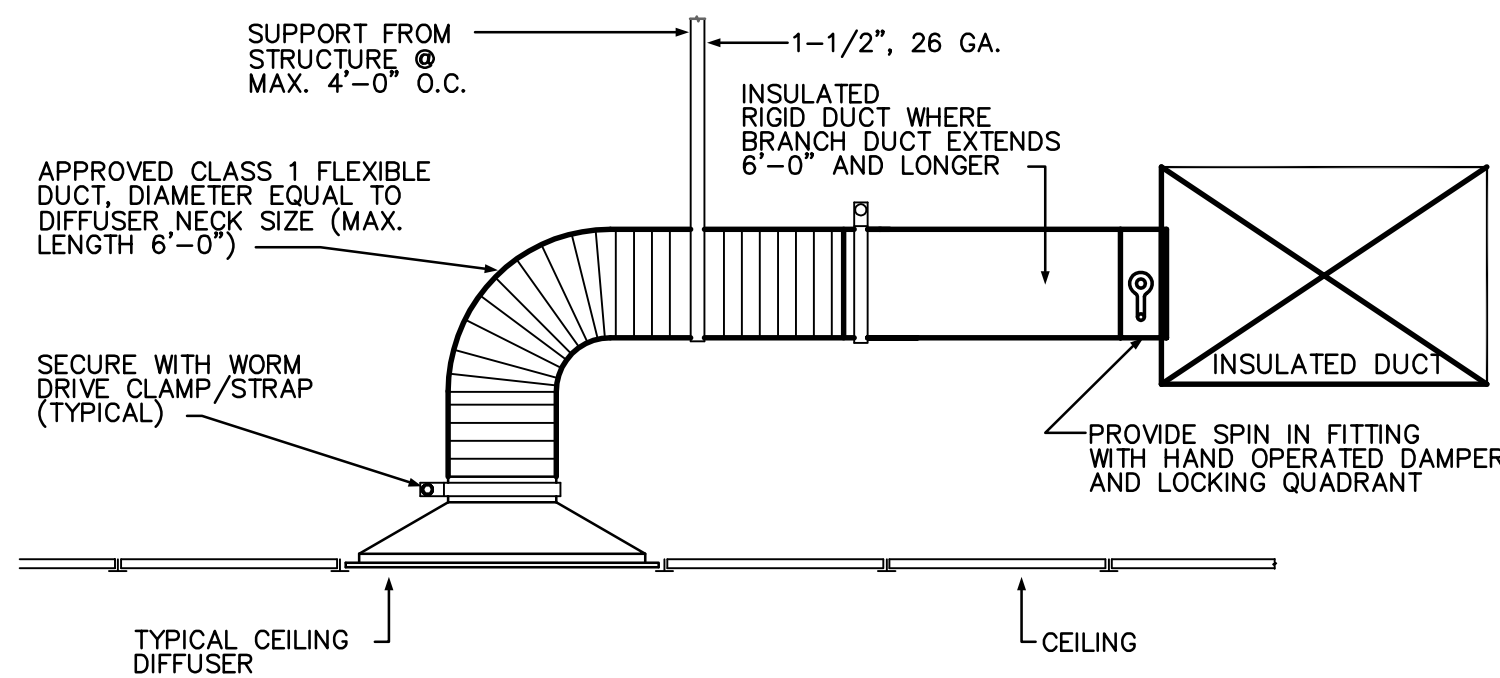


**CEILING EXHAUST FAN DETAIL**

NOT TO SCALE

1

M3.1

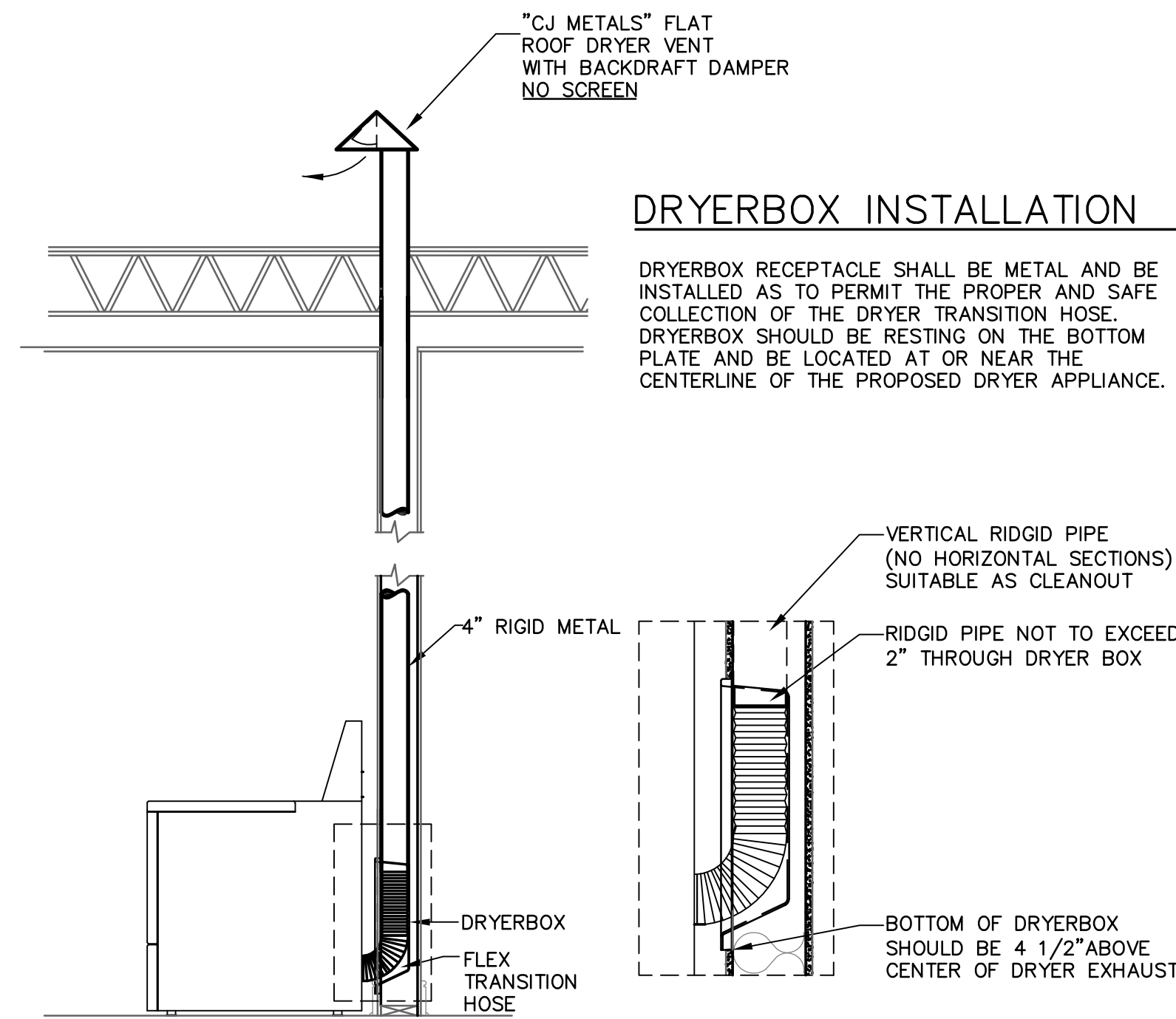


**BRANCH DUCT TAKE-OFF DETAIL**

NOT TO SCALE

3

M3.1



**DRYER BOX DETAIL**

NOT TO SCALE

2

M3.1



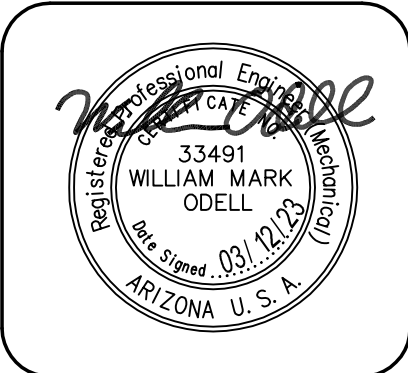
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**ARCHITECTURE & PLANNING**

**DRAWING:** Mechanical Details

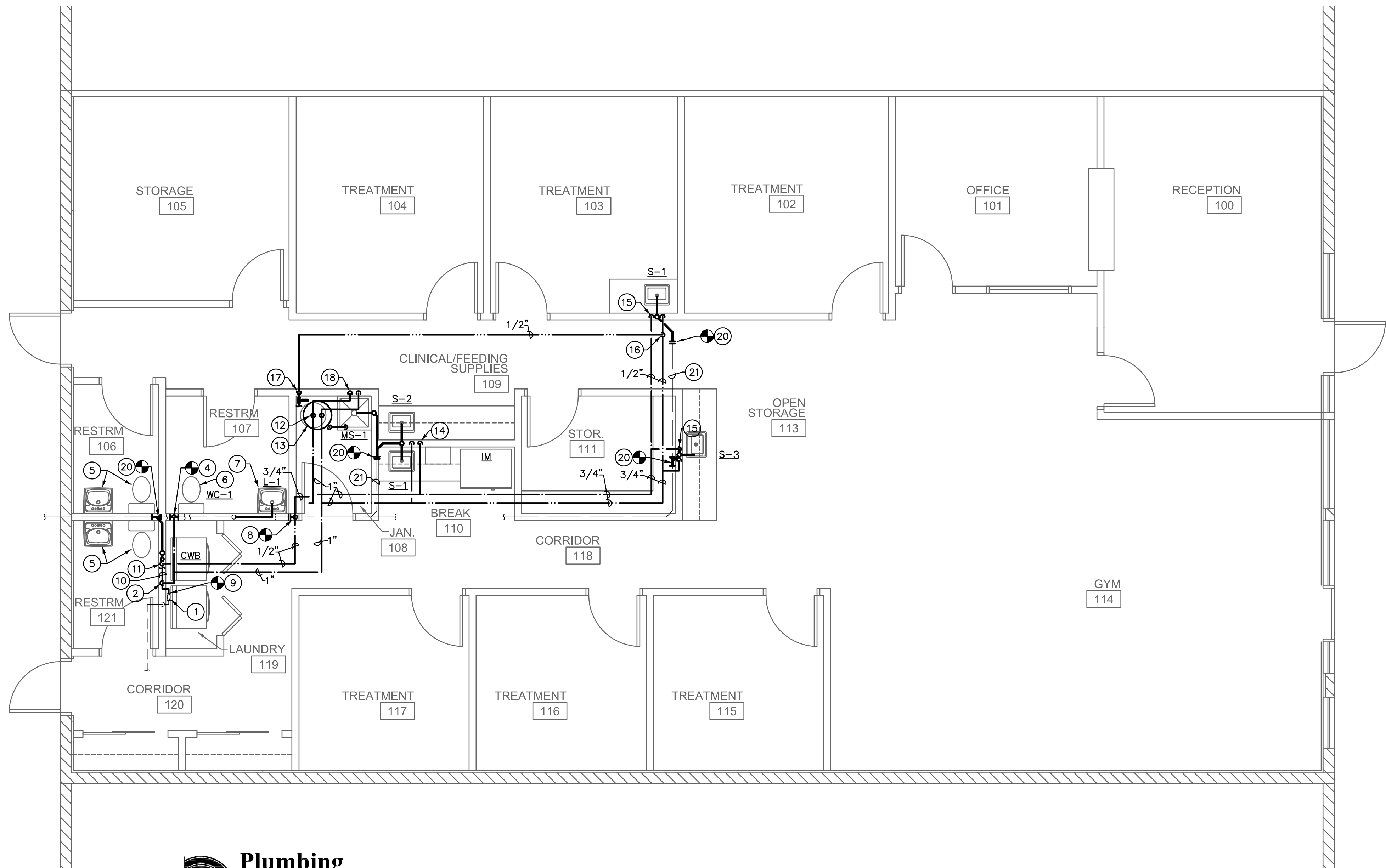
**PROJECT:** Jodi Gilray Pediatric Therapy  
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Cottonwood, AZ

**APN:** 406-04-035G

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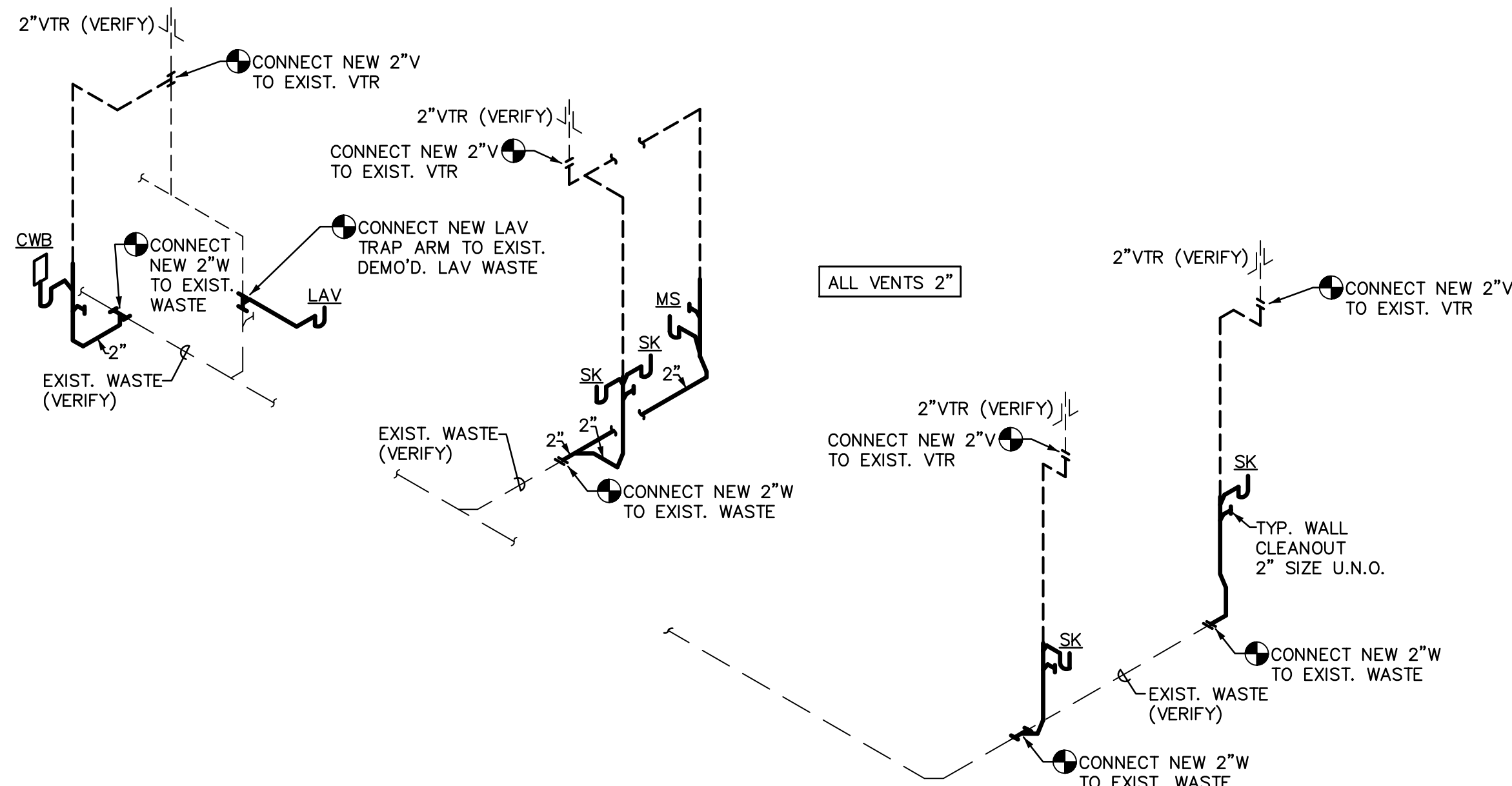
**M3.1**

Jan 23, 2023 - 12:09pm



## 1 Plumbing Floor Plan

Scale: 1/4"=1'-0"



## WASTE AND VENT SCHEMATIC

NTS

### PLUMBING GENERAL NOTES:

- ALL PLUMBING WORK SHALL COMPLY WITH THE MOST STRINGENT OF APPLICABLE CODES, ORDINANCES, OR THE SPECIFICATIONS.
- DETERMINE EXACT LOCATION & MOUNTING HEIGHT OF PLUMBING FIXTURES FROM ARCHITECTURAL DRAWINGS.
- COORDINATE LOCATION OF ALL PLUMBING LINES WITH DUCTWORK AND ELECTRICAL SERVICES.
- PRIOR TO SUBMITTING BID, CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS & INCLUDE IN HIS BID AN AMOUNT TO FURNISH & INSTALL ANY FIXTURES SHOWN IN ADDITION TO PLUMBING DRAWINGS.
- PROVIDE VACUUM BREAKERS ON HOSE BIBBS & ALL HOSE END FITTINGS.
- LOCATE ALL VENTS THROUGH ROOF 10'-0" FROM ALL AIR INTAKES, EVAPORATIVE COOLERS, ETC.
- VERIFY INVERT ELEVATIONS (WASTE LINES), SIZES, & LOCATIONS OF ALL EXISTING GAS, WATER & WASTE LINES TO WHICH NEW PIPING CONNECTS PRIOR TO MAKING-UP OR INSTALLATION OF PIPING.
- LOCATE ALL VALVES, UNIONS, THERMOMETERS, GAUGES, OR OTHER EQUIPMENT REQUIRING FREQUENT READING, REPAIRS, ADJUSTMENTS, INSPECTION, REMOVAL OR REPLACEMENT SO AS TO BE ACCESSIBLE WITH REFERENCE TO THE FINISHED BUILDING.
- ROUGH-IN ALL WATER & WASTE PIPING TO SPECIAL EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' SHOP DRAWINGS. VALVE ALL SUPPLIES AND MAKE FINAL CONNECTIONS.
- INSTALL APPROVED DIELECTRIC ISOLATORS AT ALL CONNECTIONS OF DISSIMILAR METALS.
- WHERE POSSIBLE, TIE WENTS TOGETHER SO THAT A MINIMUM NUMBER TERMINATE THROUGH ROOF.
- CONTRACTOR SHALL NOT CUT HOLES IN STRUCTURAL MEMBERS WITHOUT FIRST SECURING WRITTEN APPROVAL FROM THE ARCHITECT.

NOTE:  
SLOPE ALL HORIZONTAL WASTE PIPING AS FOLLOWS:

FOR PIPE SIZES UP THROUGH 3",  
SLOPE AT 1/4" PER FT.

FOR PIPE SIZES 4" & ABOVE,  
SLOPE AT 1/8" PER FT.

### PLUMBING NOTE:

ALL PLUMBING FIXTURES SHALL BE OF A LOW-FLOW DESIGN WHICH LIMITS THE WATER FLOW NOT TO EXCEED THE FOLLOWING:

WATER CLOSETS: 1.6 GALLONS PER FLUSH  
LAV FAUCETS: .5 GALLONS PER MINUTE  
SINK FAUCETS: 2.2 GALLONS PER MINUTE

NOTE:  
LOCATIONS AND SIZES FOR ALL ITEMS ARE BASED ON THE BEST INFORMATION AVAILABLE. SOME ITEMS SHOWN ARE TO INDICATE THE INTENT OF THE PLUMBING SYSTEMS BUT MAY NOT NECESSARILY REFLECT THE EXACT ROUTING AND LOCATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL LOCATIONS AND SIZES OF THOSE ITEMS REQUIRING MODIFICATIONS.

### PLUMBING LEGEND

SYMBOL	ABBR.	DESCRIPTION
—	W	WASTE PIPING
- - - -	V	VENT PIPING
— · — ·	CW	COLD WATER PIPING
— · — ·	HW	HOT WATER PIPING
— · — ·	BV	BALL VALVE
— · — ·	FCO, SCO	FLOOR OR SURFACE CLEANOUT
— · — ·	WCO	WALL CLEANOUT
— · — ·	VTR	VENT THRU ROOF
— · — ·		POINT OF CONNECTION NEW TO EXISTING



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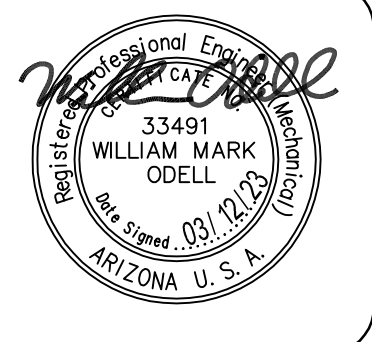
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### KEYNOTES:

- EXISTING TENANT WATER METER.
- 1" CW RISE TO ROUTE ABOVE CEILING.
- NOT USED.
- 1" CW DOWN TO TIE INTO EXISTING CW HEADER SERVING EXISTING RESTROOMS. REWORK HEADER AS REQUIRED TO EXTEND NEW 1/2" CW TO NEW LAV.
- CONTRACTOR TO INCLUDE IN BID COST FOR REMOVING EXISTING FIXTURE AND REINSTALL AT SAME LOCATION AFTER NEW WALL COVERINGS ARE INSTALLED. COORDINATE WORK WITH ARCHITECT/GENERAL CONTRACTOR.
- INSTALL NEW ADA COMPLIANT WC AT SAME LOCATION AS DEMO'D. WC. REWORK EXISTING PIPING AS REQUIRED FOR NEW FIXTURE INSTALLATION.
- NEW ADA COMPLIANT LAV AT NEW LOCATION; CONNECT NEW LAV WASTE TO EXISTING WASTE & VENT PIPING AT DEMO'D. LAV LOCATION. REWORK EXISTING WASTE PIPING AS REQUIRED FOR NEW FIXTURE INSTALLATION.
- 3/4" HW DOWN TO TIE INTO EXIST. HW HEADER SERVING EXISTING RESTROOMS. REWORK HEADER AS REQUIRED TO EXTEND NEW 1/2" HW TO NEW LAV.
- CONNECT NEW 1-1/4" CW TO METER OUTLET. PROVIDE BALL VALVE SHUTOFF. ROUTE CW LINE INTO WALL.
- 1/2" CW TO NEW CLOTHESWASHER BOX.
- 1/2" HW DOWN TO NEW CLOTHESWASHER BOX.
- 1" H & CW DOWN TO NEW WATER HEATER.
- ELECT. WATER HEATER WH-1 SEE DETAIL, SCHEDULE, SHT. P.3.0. PROVIDE FULL SIZE P&T RELIEF DRAIN LINE, TERMINATE AT +2' ABOVE MOP SINK RIM WITH 90° ELBOW DN.
- 3/4" H & CW DOWN TO 3/4" HEADERS, WITH 1/2" H & CW TO EACH SINK, 1/2" TO ICEMAKER BOX.
- 1/2" H & CW DOWN TO SINK.
- 1/2" HWR OFF TOP OF HW LINE, ROUTE BACK TO RECIRC. PUMP AT WATER HEATER.
- 1/2" HWR DOWN TO RECIRC. PUMP. SEE WATER HEATER DETAIL FOR PUMP SPEC. & FOR CONT. OF HWR LINE.
- 1/2" H & CW DOWN TO MOP SINK.
- CONNECT NEW 2" WASTE TO EXISTING WASTE.
- APPROX. LOCATION OF EXISTING WASTE LINE, FIELD VERIFY EXACT LOCATION, SIZE, INVERT & FLOW DIRECTION PRIOR TO CONSTRUCTION.

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ARCHITECTURE & PLANNING

DRAWING: Plumbing Floor Plan

PROJECT: Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

406-04-035G

APN:

DRAWN BY

CHECKED BY

DATE  
January 23rd, 2023

JOB NO.  
791

SHEET

P2.0

Hangers: Grinnell, Fee & Mason, Elcen, Kin-Line, F & S, B-Line, Michigan

### 3.4 Electrical: Wiring by Electrical Contractor.

The diagram illustrates the plumbing for a water heater. Cold water enters from the top right, passes through a check valve, and connects to the water heater's cold water inlet. The water heater is mounted on a stand. Hot water exits from the top left, passes through a relief valve, and connects to a hot water return line. This return line includes a strainer, a circulating pump, and an expansion tank. The expansion tank is connected to the hot water return line and is supported by a wall strap. A square 3" deep galvanized steel drain pan is provided under the water heater, with a 3/4" drain pipe connection to the pan line and P & T relief drain line. A full-size drain to terminate is also shown. The diagram includes various valves: a ball valve, a dielectric union, and a check valve. A note specifies that the expansion tank shall be supported independently of the water piping, with a strap to a unistrut mounted on the wall.

**NOTE:**  
EXPANSION TANK SHALL BE SUPPORTED INDEPENDENTLY OF THE WATER PIPING, STRAP TO UNISTRUT MOUNTED ON WALL.

**NOTE:**  
AQUASTAT— HONEYWELL #L 6006 C, MOUNT ON (MIN.) 12" LENGTH OF 1" PIPING

**NOTE:**  
EXPANSION TANK— AMTROL THERM—X-TROL MODEL ST-5, 4.4 GAL., INSTALL PER MFR. RECOMMENDATIONS

**NOTE:**  
PROVIDE SQUARE 3" DEEP GALVANIZED STEEL DRAIN PAN WITH ALL SEAMS WATER TIGHT. PROVIDE 3/4" DRAIN PIPE CONNECTION TO PAN. PIPE DRAIN PAN LINE & P & T RELIEF DRAIN LINE INDEPENDENTLY TO TERMINATE AS NOTED ON PLANS.

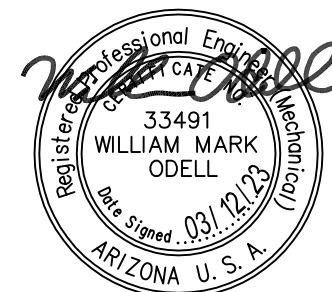
**NOTE:**  
REFER TO PLANS FOR WATER PIPING SIZES.

**Labels:**  
HOT WATER  
COLD WATER  
CHECK VALVE (TYPICAL)  
DIELECTRIC UNION (TYPICAL)  
BALL VALVE (TYPICAL)  
A.S.M.E. T & P RELIEF VALVE  
FULL SIZE DRAIN TO TERMINATE AS SHOWN ON PLANS  
WATER HEATER WH-1—SEE SCHEDULE  
DRAIN VALVE W/ HOSE END (TYPICAL)  
SHEET METAL DRIP PAN  
WATER HEATER STAND  
HOT WATER RETURN  
"Y" STRAINER WITH BLOW DOWN DRAIN VALVE & HOSE END  
CIRCULATING PUMP—BELL & GOSSETT LR-15BWR, ALL BRONZE CONSTRUCTION, IN-LINE, 1/2" CONNECTIONS, 125 WATTS, 1.1 FLA, 120V, 2 GPM, 11 FT. HEAD  
EXPANSION TANK—AMTROL THERM—X-TROL MODEL ST-5, 4.4 GAL., INSTALL PER MFR. RECOMMENDATIONS

## NO SCALE

FIXTURE CONNECTION SCHEDULE							
MARK	DESCRIPTION	TRAP SIZE	WASTE	VENT	COLD WATER	HOT WATER	REMARKS
WC-1	WATER CLOSET (ADA)	INT.	4"	2"	1/2"	—	TANK TYPE
L-1	LAVATORY (ADA)	1-1/4" x 1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	WALL HUNG
S-1	SINK	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	STAINLESS STEEL, SINGLE COMP.
S-2	SINK	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	STAINLESS STEEL, DEEP BOWL
S-3	SINK (ADA)	1-1/2"	1-1/2"	1-1/2"	1/2"	1/2"	STAINLESS STEEL, SINGLE COMP.
MS-1	MOP SINK	2"	2"	1-1/2"	1/2"	1/2"	FLOOR TYPE
CWB	CLOTHESWASHER BOX	2"	2"	1-1/2"	1/2"	1/2"	

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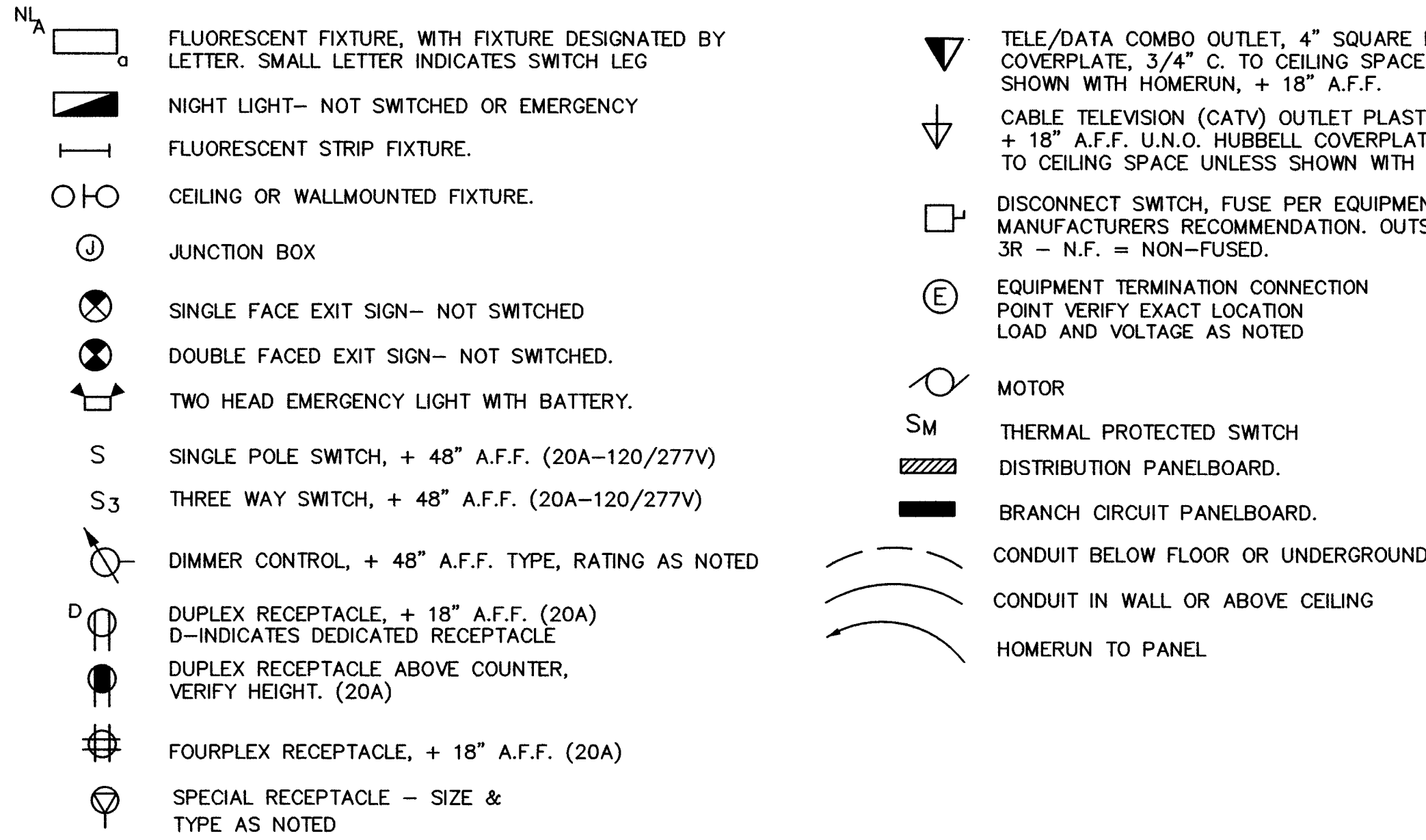
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**APN:**

# P3.0

1. PRIOR TO SUBMITTING BID, SUBCONTRACTORS SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH IN ANY WAY AFFECTS THE WORK UNDER HIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
2. THE SUBCONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR THE PROPER RESTORATION OF ALL EXISTING SURFACES REQUIRING PATCHING, PLASTERING, PAINTING AND /OR OTHER REPAIR DUE TO THE INSTALLATION OF ELECTRICAL WORK UNDER THE TERMS OF THE CONTRACT. CLOSE ALL OPENINGS, REPAIR ALL SURFACES, ETC., AS REQUIRED.
3. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND BUILDING DETAILS. VERIFY LOCATION OF ALL OUTLETS, SWITCHES, AND WALL MOUNTED LIGHTING FIXTURES WITH ARCHITECTURAL DRAWINGS AND ACTUAL CONDITIONS. VERIFY ALL CEILING TYPES WITH ARCHITECTURAL DRAWINGS BEFORE ORDERING FIXTURES.
4. PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
5. GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
6. BRANCH CIRCUIT WIRING SHALL BE THHN/THWN INSULATION. PANEL FEEDERS SHALL BE TYPE XHHW. ALL WIRE SHALL BE COPPER. MINIMUM WIRE SIZE SHALL BE #12.
7. ALL WIRING TO BE INSTALLED IN RACEWAYS. TYPE OF RACEWAY SHALL BE AS REQUIRED BY CODE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
8. PROVIDE CODE SIZED BOND WIRE IN ALL EMT, FLEXIBLE CONDUIT
9. ALL ELECTRICAL EQUIPMENT SHALL BE NEW , U.L. APPROVED AND COMMERCIAL GRADE.
10. WIRE RATED FOR 150° F. CENTIGRADE SHALL BE USED FOR ALL INCANDESCENT LIGHTING FIXTURES.
11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL CODE, (N.E.C.), AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
12. PROVIDE TYPEWRITTEN DESCRIPTIVE PANEL DIRECTORIES

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT



MAINS: 200A MLD			LOAD-VA			LOCATION: SEE PLAN	
VOLTAGE: 120 / 208V, 3Ø, 4W						MOUNTING: FLUSH	
TYPE: EXISTING PENNSYLVANIA						MIN. A.I.C.: 65/10K SERIES RATED (FIELD VERIFY)	
CIRCUIT DESCRIPTION	BKR.	CIR. NO.	Ø A	Ø B	Ø C	BKR.	CIRCUIT DESCRIPTION
RECEPT'S. - OFFICE/TREATMENT	20	1 900 1000				20	RECEPT'S. - BREAKROOM 110
				900 1000		2 1 4 1	
					1080 1000	6 1 20 1	
RECEPT'S. - WASHER	20	7 1000 900				8 1 20 1	RECEPT'S. - COUNTER
CLOTHS DRY	30	9 2500 800				10 1 20 1	RECEPT'S. - COUNTER
				2500		12 1 20 1	SPARE
SPARE	20	13 10000				14 100	EXISTING A/C UNIT TO REMAIN
SPACE		15 10000				16 2	
				10000		18	SPACE
						20	
						22	
						24	
						26	
						28	
						30	
						32	
						34	
						36	
						38	
						40	
						42	
TOTAL LOAD PER PHASE:			13700	15200	14580		H# 15200 / 120 = 126.6 AMPS

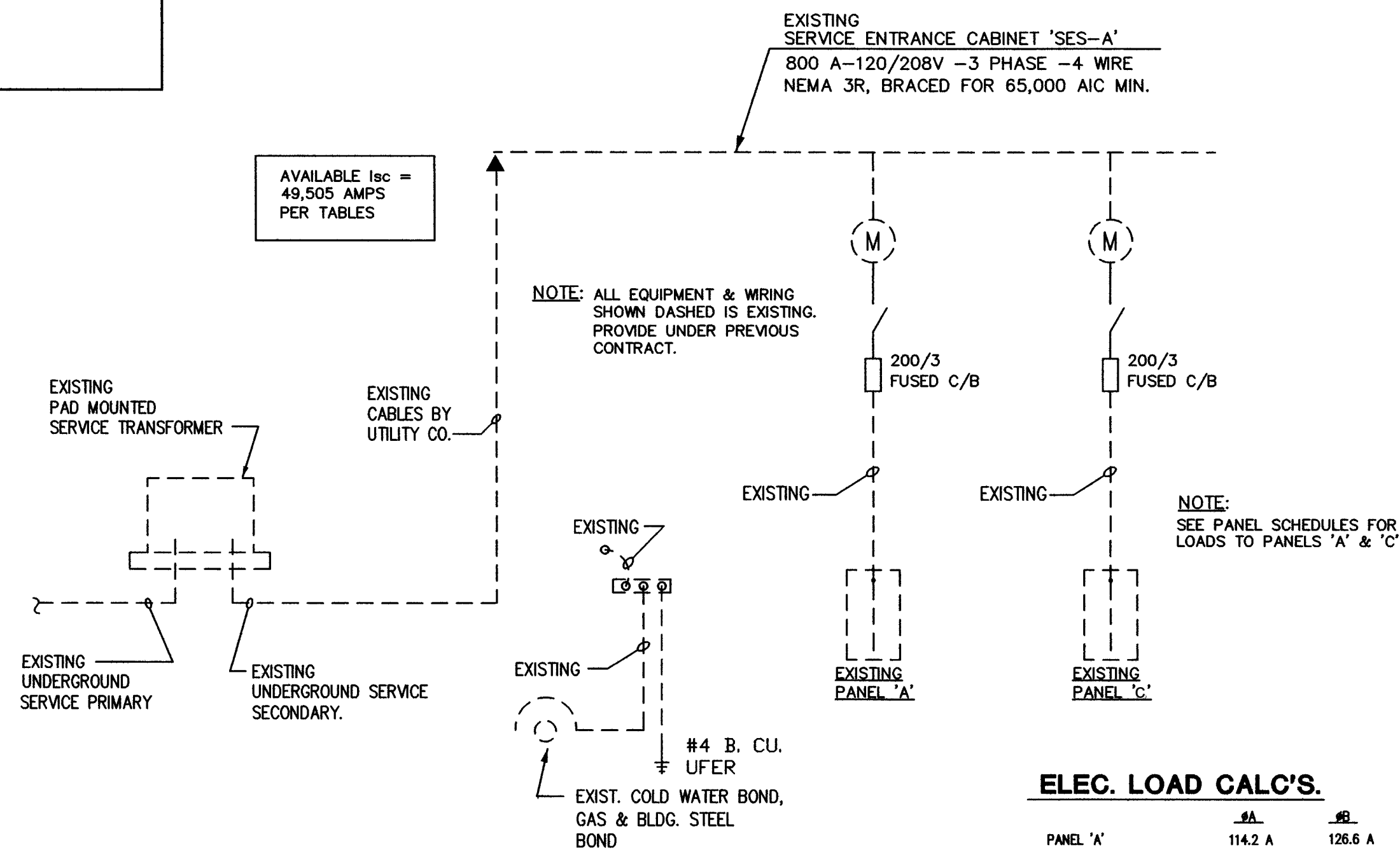
 EXISTING BREAKER W/EXISTING LOAD  
 EXISTING BREAKER W/ NEW LOAD  
 NEW BREAKER W/ NEW LOAD

MAIN(S): 200A MLD		LOAD-VA			LOCATION: SEE PLAN			
VOLTAGE: 120 / 208V, 3Ø, 4W					MOUNTING: FLUSH			
TYPE: EXISTING SYLVANIA					MIN. A.I.C.): 65/10K SERIES RATED (FIELD VERIFY)			
CIRCUIT DESCRIPTION	BKR.	CIR. NO.	Ø A	Ø B	Ø C	CIR. NO.	BKR.	CIRCUIT DESCRIPTION
RECEPT'S. - OFFICE/TREATMENT	20	1	1080			20	2	RECEPT'S. - CLINICAL SUPPLIES 109
	20	3				20	1	
	20	1		1080		20	4	
	20	5			1080	20	1	LIGHTS
	20	7	900		1200	20	6	LIGHTS
RECEPT'S. - GENERAL	20	1	1200			20	8	LIGHTS
	20	9		720		20	1	
RECEPT'S. - GENERAL	20	11		2250		20	30	WATER HEATER
	20	1				20	12	4.5 KW, 240V, 1Ø
SPARE BREAKERS	20	13			2250	20	2	
	20	15				20	14	SPACE
	20	17		6000		20	60	EXISTING A/C UNIT TO REMAIN
	20	19			6000	20	18	
	20	21	6000			20	3	
	20	23				20	1	SPARE BREAKERS
	20	25				20	1	
	20	27				20	1	
	20	29				20	1	
	20	31				20	1	
	20	33				20	1	
SPACE	20	35				20	1	
	20	37				20	1	SPACE
	20	39				20	38	
	20	41				20	40	
	20	43				20	42	
TOTAL LOAD PER PHASE:			9180	10050	10530			HIØ 10530 / 120 = 87.8 AMPS





ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE 2010 ADA SAD REQUIREMENTS FOR ALL SWITCHES, RECEPTACLES, TELE./DATA AND SIDE REACH CONTROL SWITCHES. ALL WALL CONTROLS, SWITCHES AND THERMOSTATS TO BE MOUNTED WITH TOP OF J-BOX AT 48" A.F.F. ALL ABOVE COUNTER CONTROLS, SWITCHES & OUTLETS TO BE MOUNTED WITH HORIZONTAL ORIENTATION WITH TOP OF J-BOX AT 44" A.F.F.. ALL WALL OUTLETS TO BE MOUNTED AT 15" A.F.F. TO BOTTOM OF J-BOX.

SPECIAL REQUIREMENTS PER:  
THE FAIR HOUSING ACT.

ALL RECEPTACLES AT RESTROOM LAVATORIES TO BE GFCI TYPE. ALL WALL CONTROLS, SWITCHES AND THERMOSTATS TO BE MOUNTED WITH TOP OF J-BOX AT 48" A.F.F. ALL ABOVE COUNTER CONTROLS, SWITCHES & OUTLETS TO BE MOUNTED WITH HORIZONTAL ORIENTATION WITH TOP OF J-BOX AT 44" A.F.F. ALL WALL OUTLETS TO BE MOUNTED AT 15" A.F.F. TO BOTTOM OF J-BOX.



N.T.S.

Schedule								
Symbol	Label	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
	A	Lithonia Lighting	2GTL 4 48L EZ1 LP840	2GTL 2X4, 4800 Nominal Lumens, Flat Linear Prismatic lens, 4000K CCT	LED — 3500K	4034	0.91	46
	AE	Lithonia Lighting	2GTL 4 48L EZ1 LP840 EL14L — WITH BATTERY BACK-UP	2GTL 2X4, 4800 Nominal Lumens, Flat Linear Prismatic lens, 4000K CCT	LED — 3500K	4034	0.91	46
	B	Lithonia Lighting	LDN6 35/15 L06AR LSS MVOLT EZ10	6IN LDN, 3500K, 1500LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80	LED — 3500K	1640	0.91	26.0
		Lithonia Lighting	LHQM LED R HO	QUANTUM LED EMERGENCY COMBO	LED	Absolute	0.91	3

REVISIONS	BY

BY

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## FIXTURE SCHEDULE & PANEL SCHEDULES

## FIXTURE SCHEDULE & PANEL SCHEDULES

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

406-04-035G

AWN BY

R.A.

CKED BY

A.O.  
DATE  
January 23rd, 2023

OB NO.

791

# E1.0

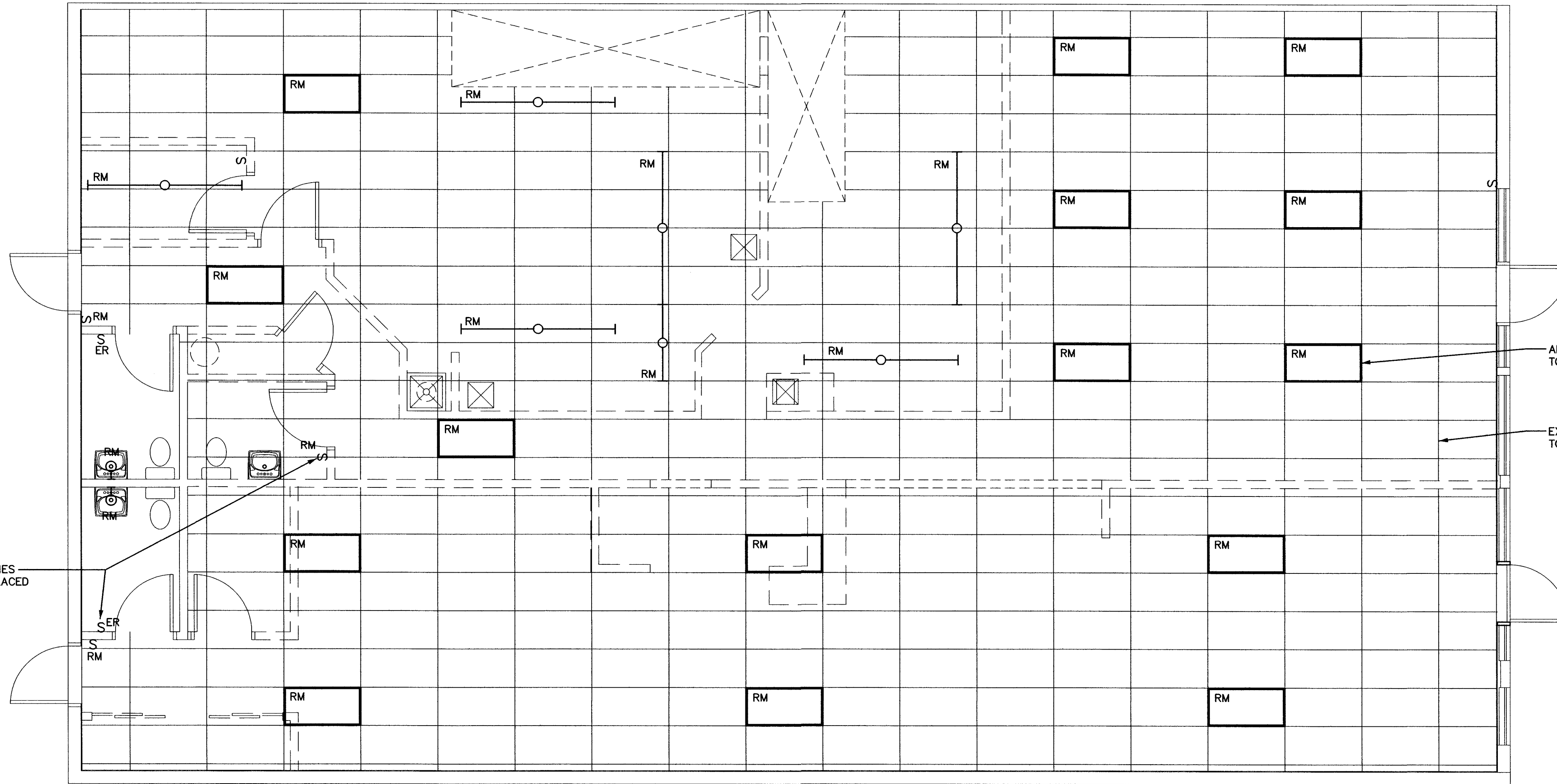
GENERAL NOTE:  
ELECTRICAL CONTRACTOR SHALL  
REMOVE ALL ABANDONED OR UNUSED  
CONDUIT & WIRING ETC. BACK TO PANEL.

NOTE:  
ELECTRICAL CONTRACTOR SHALL  
FIELD VERIFY SITE PRIOR TO BID  
TO CONFIRM ALL EXISTING ELECTRICAL  
EQUIPMENT TO BE REMOVED AND  
ABANDONED.

#### ABBREVIATIONS

EX	EXISTING LIGHT OR DEVICE TO REMAIN
RE	EXISTING LIGHT OR DEVICE TO BE REPLACED OR RELOCATED EXTEND CIRCUITING AS REQUIRED IF NOT SHOWN.
ER	REPLACED OR RELOCATED LIGHT OR DEVICE
RM	REMOVED LIGHT OR DEVICE
A.F.F.	ABOVE FINISHED FLOOR ( $\phi$ OF OUTLET )
A.F.G.	ABOVE FINISHED GRADE ( $\phi$ OF OUTLET )
E.C.	EMPTY CONDUIT
UNO	UNLESS OTHERWISE NOTED
FBO	FURNISHED BY OTHERS
NL	NIGHT LIGHT
TYP	TYPICAL

ALL EXISTING LIGHT SWITCHES  
TO BE REMOVED AND REPLACED  
AS REQUIRED FIELD VERIFY  
REQUIREMENTS.



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REVISIONS BY

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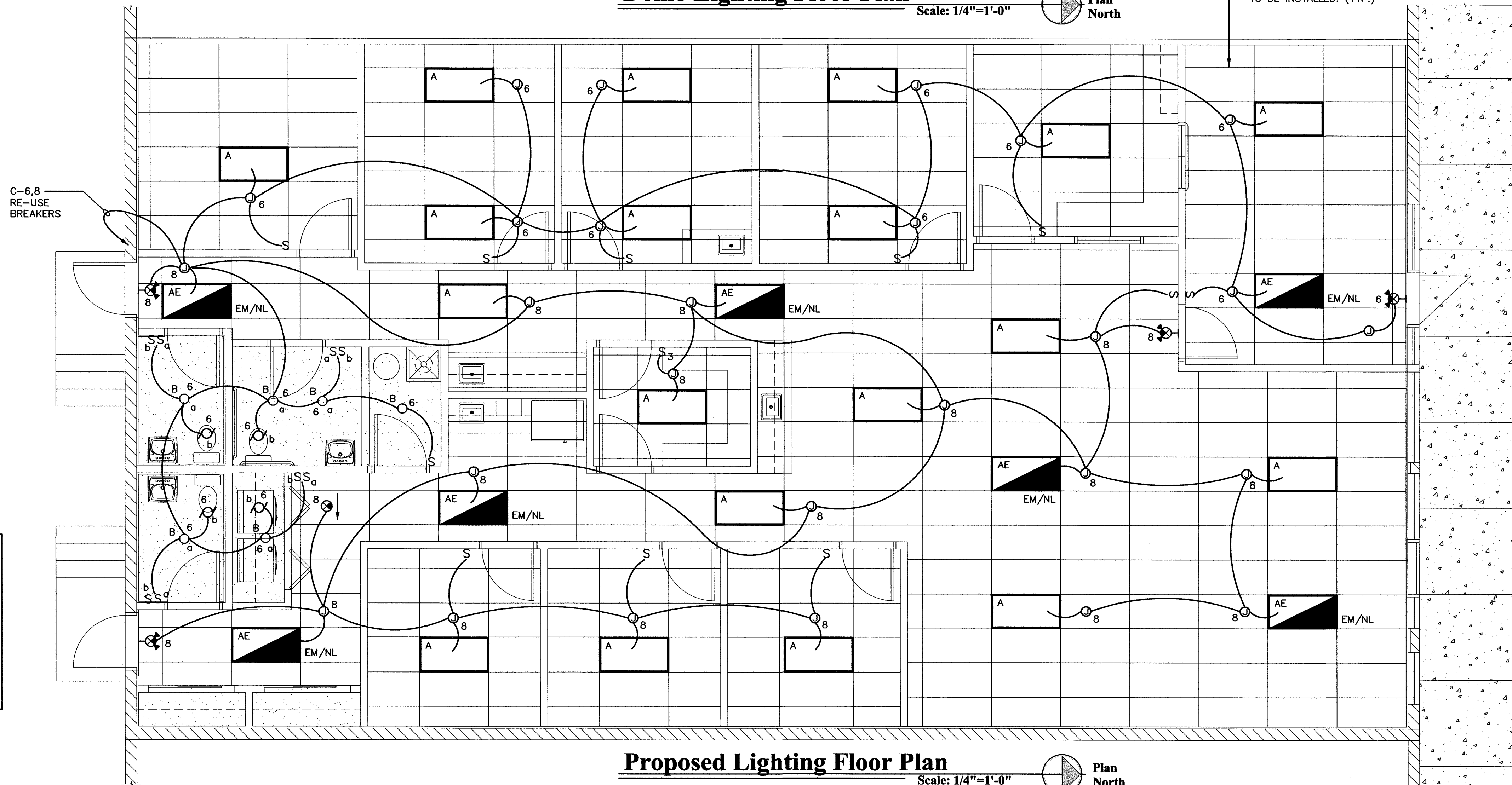
7450  
ANGELO  
OSSANNA  
12/23  
ARCHITECTURE & PLANNING  
EXPIRES 12/30/2024

#### Demo Lighting Floor Plan

Scale: 1/4"=1'-0"



NEW CEILING GRID  
TO BE INSTALLED. (TYP.)

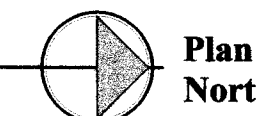


#### GENERAL LIGHTING NOTES:

- IF ELECTRICAL CONTRACTOR IS NOT CERTAIN  
OF MOUNTING HEIGHT OR LOCATION OF ANY  
LIGHTING FIXTURES OR SWITCHES HE  
IS TO VERIFY ITEMS WITH ELECTRICAL ENG.,  
ARCHITECT OR OWNER PRIOR TO ROUGH-IN.
- NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES  
SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.
- ALL EXTERIOR LIGHT FIXTURES ARE EXISTING  
INSTALLED UNDER PREVIOUS PERMIT U.N.O.

#### Proposed Lighting Floor Plan

Scale: 1/4"=1'-0"



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ARCHITECTURE & PLANNING

**DRAWING:** Demo & Proposed Lighting Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 408-04-035G

DRAWN BY  
R.A.

CHECKED BY  
A.O.

DATE  
January 23rd, 2023

JOB NO.  
791

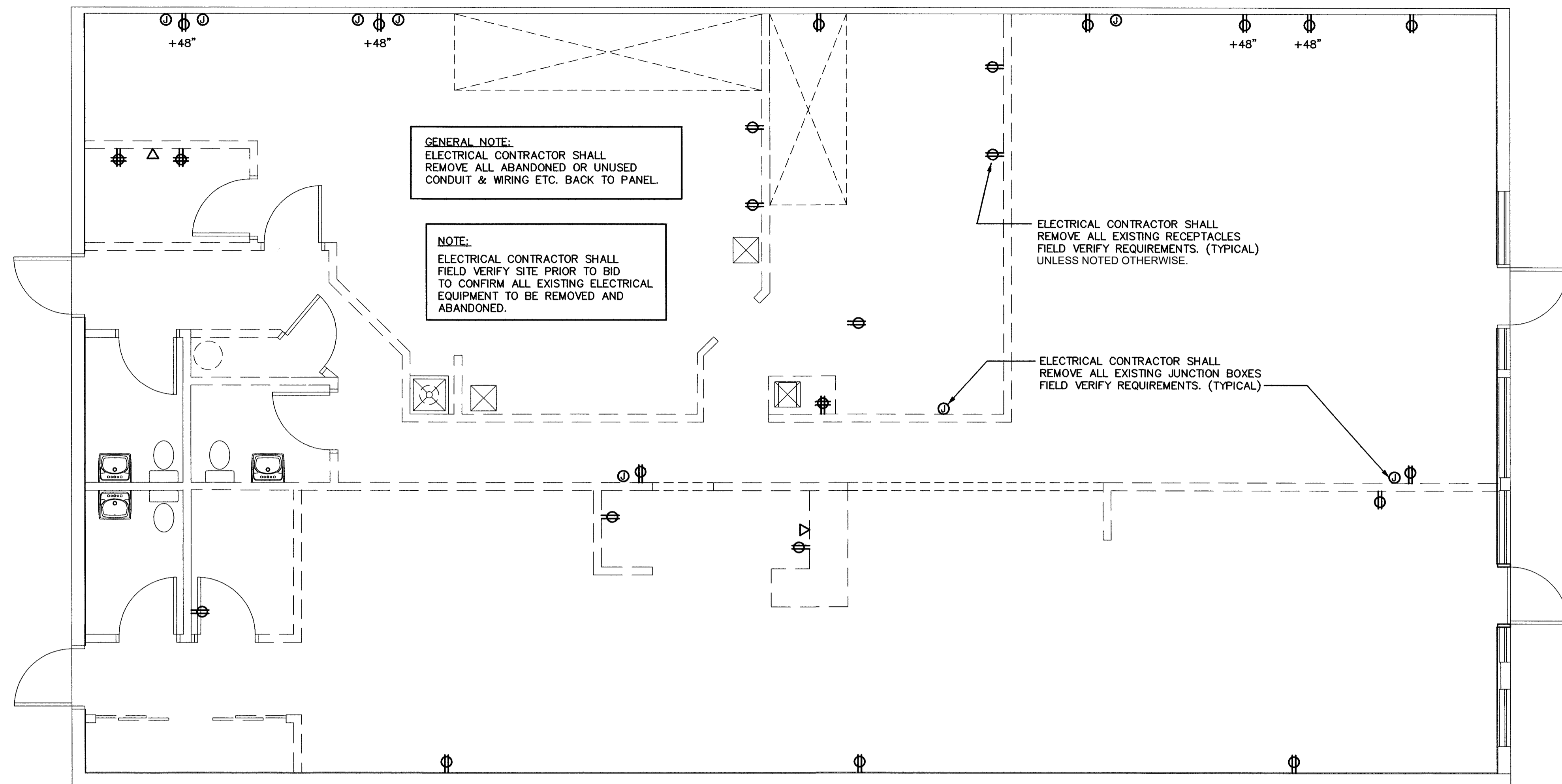
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**E1.1**

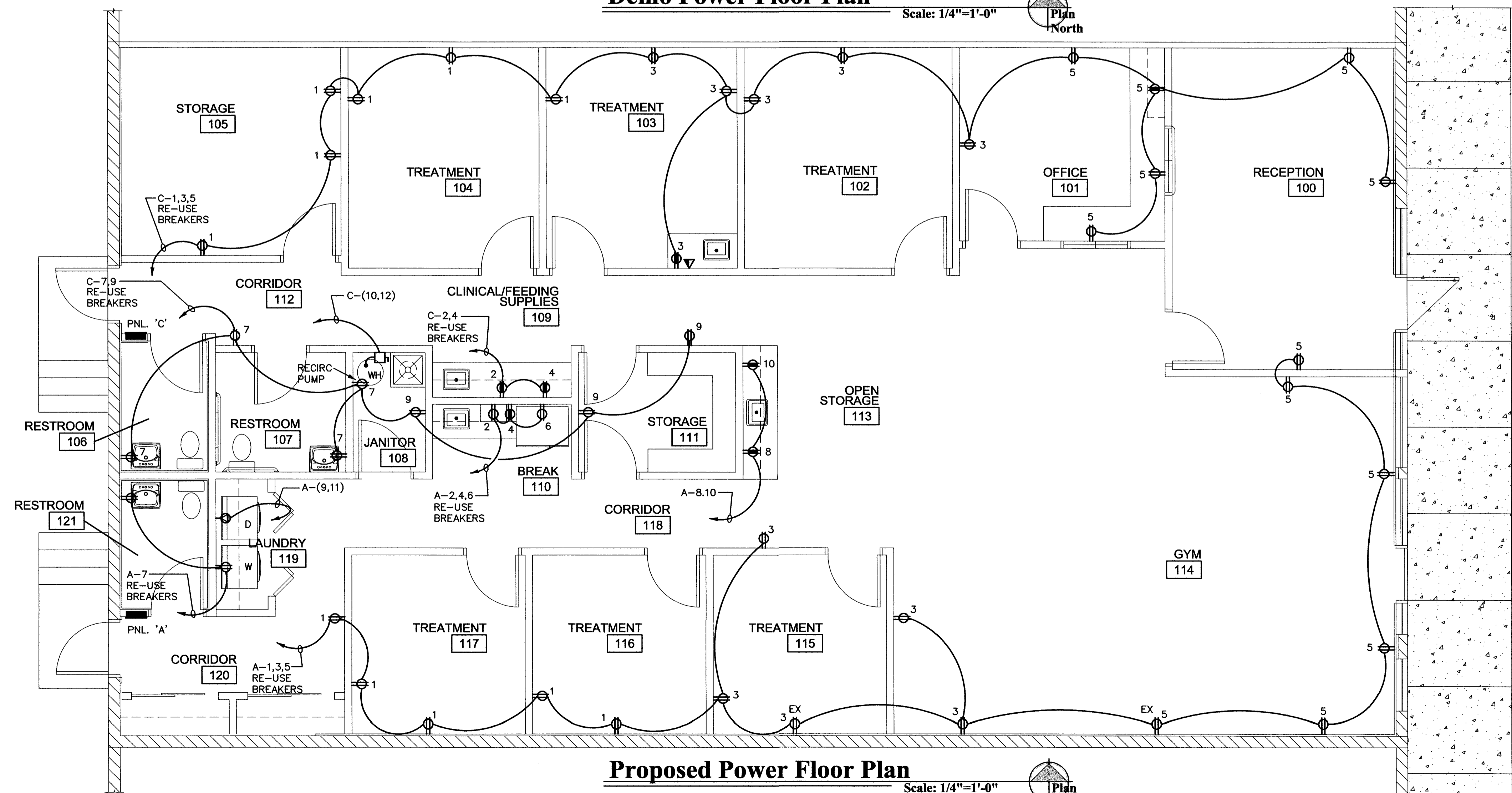
EX	EXISTING LIGHT OR DEVICE TO REMAIN
RE	EXISTING LIGHT OR DEVICE TO BE REPLACED OR RELOCATED EXTEND CIRCUITING AS REQUIRED IF NOT SHOWN.
ER	REPLACED OR RELOCATED LIGHT OR DEVICE
RM	REMOVED LIGHT OR DEVICE
A.F.F.	ABOVE FINISHED FLOOR ( $\varnothing$ OF OUTLET )
A.F.G.	ABOVE FINISHED GRADE ( $\varnothing$ OF OUTLET )
E.C.	EMPTY CONDUIT
UNO	UNLESS OTHERWISE NOTED
FBO	FURNISHED BY OTHERS
NL	NIGHT LIGHT
TPY	TYPICAL

1. RETURN REMOVED MATERIAL DEEMED SALVAGEABLE TO OWNER'S REPRESENTATIVE. MATERIALS DEEMED NOT SALVAGEABLE SHALL BE REMOVED FROM THE PREMISES.
2. THE CONTRACTOR SHALL EXAMINE THE PREMISES AND SATISFY HIMSELF AS TO EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO PERFORM HIS WORK. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND THE CONTRACTOR SHALL FIELD VERIFY ALL DETAILS OF DEMOLITION.
3. REMOVE ALL EXISTING WIRING DEVICES, LIGHT FIXTURES, WIRE, CONDUIT, DISCONNECTS, ETC., AS NOTED OR INDICATED WITHIN DEMOLITION AREA. (ALL ITEMS MAY NOT BE SHOWN.) REWORK AS NECESSARY ALL CIRCUITING WHICH REQUIRES CONTINUATION THROUGH THE AREA.
4. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO REMOVE/RELOCATE ANY EXISTING ELECTRICAL EQUIPMENT SUCH THAT ELECTRIC SHOCK HAZARDS TO WORKMEN ARE ELIMINATED DURING DEMOLITION AND NEW CONSTRUCTION.
5. REMOVED OR DAMAGED CONDUIT, WIRE AND FITTINGS SHALL NOT BE RE-USED
6. WORK REQUIRED FOR EXISTING EQUIPMENT NOTED AS "EXISTING TO BE REMOVED" SHALL INCLUDE:
  - A. SALVAGING OR DISPOSING OF ALL MATERIAL OR EQUIPMENT AS DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
  - B. REMOVAL OF FEEDER OR CABLEING FROM EQUIPMENT TO POINT OF FEED.
  - C. REMOVAL OR RE-CIRCUITING (AS REQUIRED OR AS NOTED ON PANELS) OF ALL BRANCH CIRCUITING.
  - D. REMOVAL OF ALL FITTINGS, SUPPORTS, BRACKETS, ETC.
  - E. REPAIR AND PATCHING OF WALLS, FLOORS AND CEILINGS TO MATCH EXISTING OR PER ARCHITECT'S INSTRUCTIONS.
  - F. CAPPING OF IN-SLAB FEEDER CONDUITS FLUSH WITH THE FINISHED FLOOR.
- G. CAPPING OF FEEDER CIRCUITS AT 6" ABOVE OR BELOW THE FLOOR OR CEILING FOR IN-SLAB CONDUITS LOCATED UP NEXT TO A WALL OR FOR CEILING AREA CONDUITS.
- H. THE OPPOSITE END LOCATION OF ALL EMPTY FEEDER CONDUITS AT SWITCHBOARDS, PANELBOARDS, ETC., SHALL BE MARKED USING AN ENGRAVED BRASS TAG ATTACHED TO THE CONDUIT.
- I. EXISTING FEEDER CONDUITS SHALL BE REMOVED OR CUT OFF AND ABANDONED IF FOUND TO BE UNSALVAGEABLE BY THE OWNER, ARCHITECT OR ENGINEER.
7. EXISTING EQUIPMENT NOT IMPLICITLY SHOWN ON THE DRAWINGS IS INTENDED TO BE "EXISTING TO REMAIN, " UNLESS NOTED OTHERWISE.

1. IF ELECTRICAL CONTRACTOR IS NOT CERTAIN OF MOUNTING HEIGHTS, LOCATIONS OR RUN INTO CONFLICTS OF RECEPTABLES OR DEVICES HE IS TO VERIFY ITEMS WITH ELECTRICAL ENG.,
2. ELECTRICAL CONTRACTOR SHALL RE-USE EXISTING CIRCUITS WHEN POSSIBLE OR AS INDICATED.
3. ALL RECEPTABLES IN AREAS WITH-IN 6'-0" OF A SINK SHALL BE GFCI TYPE PER NEC
4. EXTERIOR & ROOF MOUNTED MAINT. RECEPT'S. SHALL BE WP, GFCI TYPE PER NEC
5. VERIFY THE EXACT LOCATIONS OF ALL TELEPHONE OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS OUTLETS WITH THE OWNER PRIOR TO ROUGH-IN.
6. ELECTRICAL CONTRACTOR SHALL VERIFY MECHANICAL EQUIPMENT REQUIREMENTS BREAKER, DISC. & WIRE SIZE WITH MANUFACTURER PRIOR TO ROUGH-IN.




**Scale: 1/4"=1'-0"**

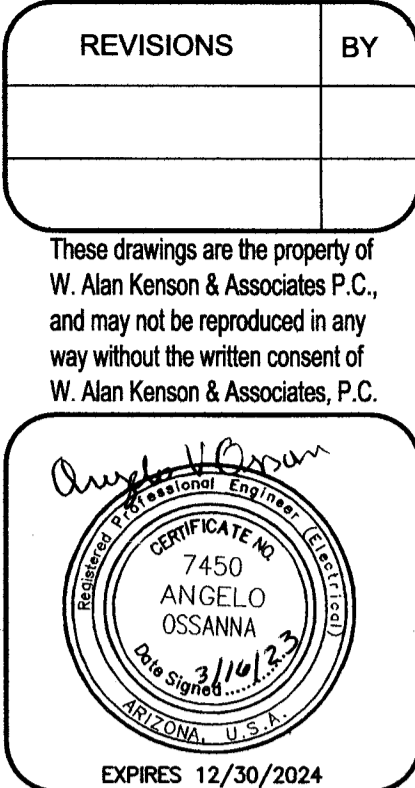


**Scale: 1/4"=1'-0"**

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**ARCHITECTURE & PLANNING**



**DRAWING:** Demo and Proposed Power Floor Plan

**PROJECT:** Jodi Gilray Pediatric Therapy  
1675 E. Cottonwood St.  
Cottonwood, AZ

**APN:** 406-04-035G

DRAWN BY <b>R.A.</b>
CHECKED BY <b>A.O.</b>
DATE <b>January 23rd, 2023</b>
JOB NO. <b>791</b>
SHEET

## E1.2